

RESIDENTIAL REMODEL & HORIZONTAL ADDITION

1370 25TH AVENUE (BLOCK/LOT: 1779/024)

SAN FRANCISCO, CALIFORNIA 94122

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PROJECT INFORMATION

BUILDING INFORMATION:
BLOCK: 1779
LOT: 024
(E) OCCUPANCY: R-3 (SINGLE FAMILY RESIDENCE)
(E) NUMBER OF STORIES: 3
(E) TYPE OF CONSTRUCTION: V-B
(E) NUMBER OF DWELLING UNITS: 1
(E) FIRE SPRINKLERS/ALARM: NO / NO

PLANNING INFORMATION:
HEIGHT: 40-X
ZONING: RH-2
HISTORICAL CLASSIFICATION: B
AMOUNT OF EXCAVATION: 87.4 CUBIC YARDS

APPLICABLE CODES:
2019 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS
2019 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS
2019 CALIFORNIA ELECTRICAL CODE WITH LOCAL AMENDMENTS
2019 CALIFORNIA PLUMBING CODE WITH LOCAL AMENDMENTS
2019 GREEN BUILDING CODE WITH LOCAL AMENDMENTS
2019 CALIFORNIA ENERGY CODE

FIRE DEPARTMENT NOTES:

- MAINTAIN ALL REQUIRED MEANS OF EGRESS, FIRE SPRINKLERS (IF ANY) AND LIFE SAFETY AT ALL TIMES.
- MAINTAIN THE REQUIRED SEPARATION, FIRE RATED CONSTRUCTIONS AND SMOKE BARRIERS.
- SEAL ALL PENETRATIONS WITH APPROVED METHODS AND MATERIALS EQUAL TO EXISTING FIRE RATINGS.

GENERAL BUILDING INFORMATION

- THE CONTRACTOR SHALL VISIT THE SITE AND BE FULLY COGNIZANT OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY PROPOSITIONS OR BIDS. IF ANY ASBESTOS, KNOWN MATERIALS CONTAINING ASBESTOS OR ANY MATERIALS CLASSIFIED BY THE EPA AS HAZARDOUS MATERIALS ARE DISCOVERED, THEN THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, AS REQUIRED, FOR THE REMOVAL OF THESE CONDITIONS, PRIOR TO THE BEGINNING OF THIS PROJECT. IF THE CONTRACTOR PARTICIPATES IN ANY PORTION OF THE REMOVAL PROCESS IN HIS COORDINATION WITH THE OWNER, THEN THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN STATEMENT RELEASING THE OWNER OF ANY FUTURE LIABILITY FROM THE CONTRACTOR, HIS EMPLOYEES AND ANY SUBCONTRACTORS HIRED BY THE CONTRACTOR RELATED TO THIS WORK. THESE DRAWINGS AND SPECIFICATIONS DO NOT REPRESENT AN ASSESSMENT OF THE PRESENCE OR AN ASSESSMENT OF THE ABSENCE OF ANY TOXIC OR HAZARDOUS MATERIALS ON THIS PROJECT SITE. THE OWNERS ARE SOLELY RESPONSIBLE FOR SUCH AN ASSESSMENT AND SHOULD BE CONSULTED FOR ANY QUESTIONS THEREIN. IF THE CONTRACTOR DISCOVERS ANY TOXIC OR HAZARDOUS MATERIALS, AS DEFINED BY THE APPROPRIATE GOVERNING AUTHORITIES, IN THE COURSE OF HIS WORK, HE MUST NOTIFY THE OWNERS IN WRITING, AS PER THE GUIDELINES BY ALL GOVERNING AUTHORITIES. THE CONTRACTOR SHALL RESOLVE THE APPLICABLE REGULATIONS AND PROCEDURES WITH THE OWNER AT THE TIME OF DISCOVERY.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND LOCAL MUNICIPAL REGULATIONS AND AMENDMENTS RELATED TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO: STATE OF CALIFORNIA ADMINISTRATIVE CODE TITLE 24; THE 2019 CALIFORNIA BUILDING CODE (CBC) INCLUDING THE HISTORICAL BUILDING CODE; THE LATEST EDITION OF THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS INCLUDING THE FEDERAL FAIR HOUSING ACT; THE 2018 CALIFORNIA FIRE CODE, THE 2018 CALIFORNIA ENERGY CODE, THE 2013 CALIFORNIA ELECTRICAL CODE, THE 2018 CALIFORNIA MECHANICAL CODE, THE 2018 CALIFORNIA PLUMBING CODE, INCLUDING ALL AMENDMENTS AS ADOPTED IN ORDINANCE 1856-2013. THIS PROJECT WILL COMPLY WITH THE 2018 CALIFORNIA ENERGY EFFICIENCY STANDARDS.
- THE CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL WORK BY HIS SUBCONTRACTORS AND THEIR COMPLIANCE WITH ALL THESE GENERAL NOTES. THE CONTRACTOR SHALL IDENTIFY ANY CONFLICTS BETWEEN THE WORKS OF THE SUBCONTRACTORS, AS DIRECTED BY THESE DRAWINGS, DURING THE LAYOUT OF THE AFFECTED TRADES. THE CONTRACTOR SHALL REVIEW THESE CONDITIONS WITH THE ARCHITECT FOR DESIGN CONFORMANCE BEFORE BEGINNING ANY INSTALLATION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS AND CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AT ONCE UPON THE DISCOVERY OF ANY CONFLICTS OR DISCREPANCIES BETWEEN THE FOREMENTIONED AND THE DRAWINGS AND SPECIFICATIONS OF THIS PROJECT. THE CONTRACTOR SHOULD FOLLOW DIMENSIONS AND SHOULD NOT SCALE THESE DRAWINGS. IF DIMENSIONS ARE REQUIRED BUT NOT SHOWN, THEN THE CONTRACTOR SHALL REQUEST THE DIMENSIONS FROM THE ARCHITECT BEFORE BUILDING ANY PART OF THE PROJECT, WHICH IS MISSING DIMENSIONS.
- ANY CHANGES, ALTERNATIVES OR MODIFICATIONS TO THESE DRAWINGS AND SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT AND OWNER, AND ONLY WHEN SUCH WRITTEN APPROVAL CLEARLY STATES THE AGREED COST OR CREDIT OF THE CHANGE, ALTERNATIVE OR MODIFICATION TO THIS PROJECT. FOR INFORMATION, DRAWINGS OR OTHER DOCUMENTS, NOT SHOWN OR INCLUDED IN THE PERMIT OR CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL REQUEST THE MISSING INFORMATION, DRAWINGS OR DOCUMENTS FROM THE ARCHITECT BEFORE STARTING OR PROCEEDING WITH THE CONSTRUCTION AFFECTED BY THE MISSING INFORMATION, DRAWINGS OR DOCUMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND COORDINATE ALL UTILITY CONNECTIONS, UTILITY COMPANIES REQUIREMENTS AND INCLUDE ANY RELATED COSTS ASSOCIATED WITH THIS RESPONSIBILITY IN THE PROPOSAL OR BID. THE CONTRACTOR IS ALSO RESPONSIBLE FOR WRITING LETTERS OF CONFORMANCE REGARDING OPERATIVE AGREEMENTS FOR THIS PROJECT BETWEEN THE CONTRACTOR AND THE LOCAL FIRE DEPARTMENT; THE LOCAL WATER AGENCY; THE LOCAL NATURAL OR PROPANE GAS PROVIDER; THE LOCAL ELECTRICITY PROVIDER; THE LOCAL TELEPHONE SERVICE PROVIDERS; THE LOCAL CABLE TV PROVIDER; THE OWNER'S SECURITY SERVICE PROVIDER AND ANY UNNAMED UTILITY TYPE SERVICE PROVIDER. THE CONTRACTOR SHALL PROVIDE COPIES OF ANY SUCH AGREEMENTS TO THE ARCHITECT AND OWNER, IF REQUIRED OR REQUESTED.
- THE CONTRACTOR IS FULLY RESPONSIBLE TO ENACT THE APPROPRIATE SAFETY PRECAUTIONS REQUIRED TO MAINTAIN A SAFE WORKING ENVIRONMENT. THE CONTRACTOR SHALL ALSO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ARCHITECT, THEIR CONSULTANTS AND EMPLOYEES FROM ANY PROBLEMS, WHICH RESULT FROM THE CONTRACTOR'S PERFORMANCE OF THE WORK RELATED TO THE SAFETY OF THE CONSTRUCTION SITE. THE CONTRACTOR SHALL CARRY THE APPROPRIATE WORKMAN'S COMPENSATION AND LIABILITY INSURANCE, AS REQUIRED BY THE LOCAL GOVERNMENT AGENCY HAVING JURISDICTION FOR THIS ISSUE, AS WELL AS COMPLY WITH THE GENERALLY ACCEPTED INDUSTRY STANDARDS OF PRACTICE FOR A PROJECT OF THIS SCOPE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH THE OWNER, IF HE WILL BE REQUIRED TO CARRY FIRE INSURANCE OR OTHER TYPES OF INSURANCE, AS WELL AS MAKING THE OWNER AND/OR THE ARCHITECT ADDITIONALLY INSURED OF THEIR POLICIES FOR THE DURATION OF THE PROJECT. HE SHOULD ALSO ASSIST THE OWNER IN IDENTIFYING THE AMOUNT OF COVERAGE REQUIRED FOR THEIR CO-INSURANCE NEEDS.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY JOB SITE ON A DAILY BASIS. THE CONTRACTOR SHALL NOT UNNECESSARILY ENCUMBER THE SITE WITH MATERIALS OR EQUIPMENT. THE CONTRACTOR SHALL NOT ENDANGER EXISTING STRUCTURES AND ANY NEWLY CONSTRUCTED STRUCTURE BY OVERLOADING THE FOREMENTIONED WITH MATERIALS OR EQUIPMENT. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND NEW CONSTRUCTION AFTER IT IS INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY ENCLOSURES OR PROTECTION, AS NEEDED, TO PROTECT THE EXISTING STRUCTURE AND ANY NEWLY CONSTRUCTED STRUCTURES FROM THE ILL EFFECTS OF WEATHER FOR THE DURATION OF THE ENTIRE CONSTRUCTION PROCESS.
- THE CONTRACTOR SHALL WARRANT ACCORDING TO STATE CONSTRUCTION LAW ALL WORK DONE BY HIM, HIS EMPLOYEES AND HIS SUBCONTRACTORS AGAINST ALL VISIBLE DEFECTS OR ERRORS THAT BECOME APPARENT WITHIN THE FIRST YEAR AFTER THE COMPLETION OF THE PROJECT, AS ACCEPTED BY THE OWNER. THE CONTRACTOR SHALL, ADDITIONALLY, WARRANT ALL DEFECTS AND ERRORS NOT VISIBLE, BUT CONTAINED WITHIN CONSTRUCTED WORK, FOR A PERIOD OF TEN YEARS FROM THE COMPLETION OF THE PROJECT, ALSO ACCORDING TO STATE CONSTRUCTION LAW. ANY AND ALL DEFECTS AND ERRORS THAT DO BECOME APPARENT SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER FOR MATERIALS OR LABOR. ALTERATIONS OR CHANGES TO THIS WARRANTY MUST BE MUTUALLY AGREED TO IN WRITING BY BOTH THE CONTRACTOR AND THE OWNER.
- THE CONTRACTOR SHALL ASSUME THAT SITE MEETINGS WITH THE OWNER, THE ARCHITECT AND THE CONTRACTOR PRESENT SHALL BE HELD ONCE EVERY WEEK, UNLESS THEY ARE MUTUALLY CHANGED OR CANCELED. THE CONTRACTOR SHALL KEEP WRITTEN NOTES OF ALL RELEVANT INFORMATION DISCUSSED AT THESE MEETINGS AND PROVIDE COPIES TO THE OWNER AND THE ARCHITECT. UNLESS DIFFERING ARRANGEMENTS ARE RESOLVED WITH THE ARCHITECT AND THE OWNER, THE ARCHITECT SHALL PROVIDE ANY REQUESTED SKETCHES OR ANY REQUESTED INFORMATION THAT IS REQUIRED AND REQUESTED DURING THESE MEETINGS. THE OWNER AND THE CONTRACTOR SHALL ALSO PROVIDE ANY REQUESTED INFORMATION THAT IS REQUIRED DURING THESE MEETINGS.
- THE ARCHITECT OR THE OWNER CAN WRITE AND ISSUE FIELD ORDERS FOR CHANGES TO THE DRAWINGS AND SPECIFICATIONS, AS REQUESTED BY OWNER OR THE CONTRACTOR. IF ADDITIONAL (OR DELETION OF) COST TO THE PROJECT IS REQUIRED, THEN THESE FIELD ORDERS SHALL BECOME THE BASIS OF A CHANGE ORDER.
- THE CONTRACTOR SHALL WRITE AND ISSUE ALL CHANGE ORDERS, WHICH SHALL INCLUDE A COST BREAKDOWN FOR ALL THE WORK DESCRIBED IN SUCH A CHANGE ORDER. ANY CHANGE ORDER WILL NOT BE BINDING TO THE OWNER UNTIL BOTH THE CONTRACTOR AND THE OWNER HAVE SIGNED IT.

SHEET INDEX

A0	TITLE SHEET, DRAWING INDEX, GENERAL BUILDING INFORMATION EXISTING & PROPOSED SITE PLANS
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A1.2	EXISTING/DEMO & PROPOSED SECOND FLOOR PLAN
A1.3	EXISTING/DEMO & PROPOSED THIRD FLOOR PLAN
A1.4	EXISTING/DEMO & PROPOSED ROOF PLAN
A2.1	EXISTING/DEMO & PROPOSED FRONT & REAR ELEVATION
A2.2	EXISTING/DEMO & PROPOSED SIDE (NORTH) ELEVATIONS
A2.3	EXISTING/DEMO & PROPOSED SIDE (NORTH) ELEVATIONS
A2.4	EXISTING/DEMO & PROPOSED SECTION ELEVATIONS
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T2	TITLE-24 ENERGY REPORT (PAGE 2 OF 2)
T3	TITLE-24 ENERGY INSPECTIONS
T4	SAN FRANCISCO GREEN BUILDING FORM
S1	TITLE SHEET, DRAWING INDEX, GENERAL INFO.
S2	GROUND FLOOR / GARAGE FOUNDATION PLAN SECOND FLOOR FRAMING PLAN
S3	THIRD FLOOR FRAMING PLAN ROOF FRAMING PLAN
S4	STRUCTURAL DETAILS
S5	STRUCTURAL DETAILS
S6	STRUCTURAL DETAILS
S7	STRUCTURAL DETAILS
S8	STRUCTURAL DETAILS

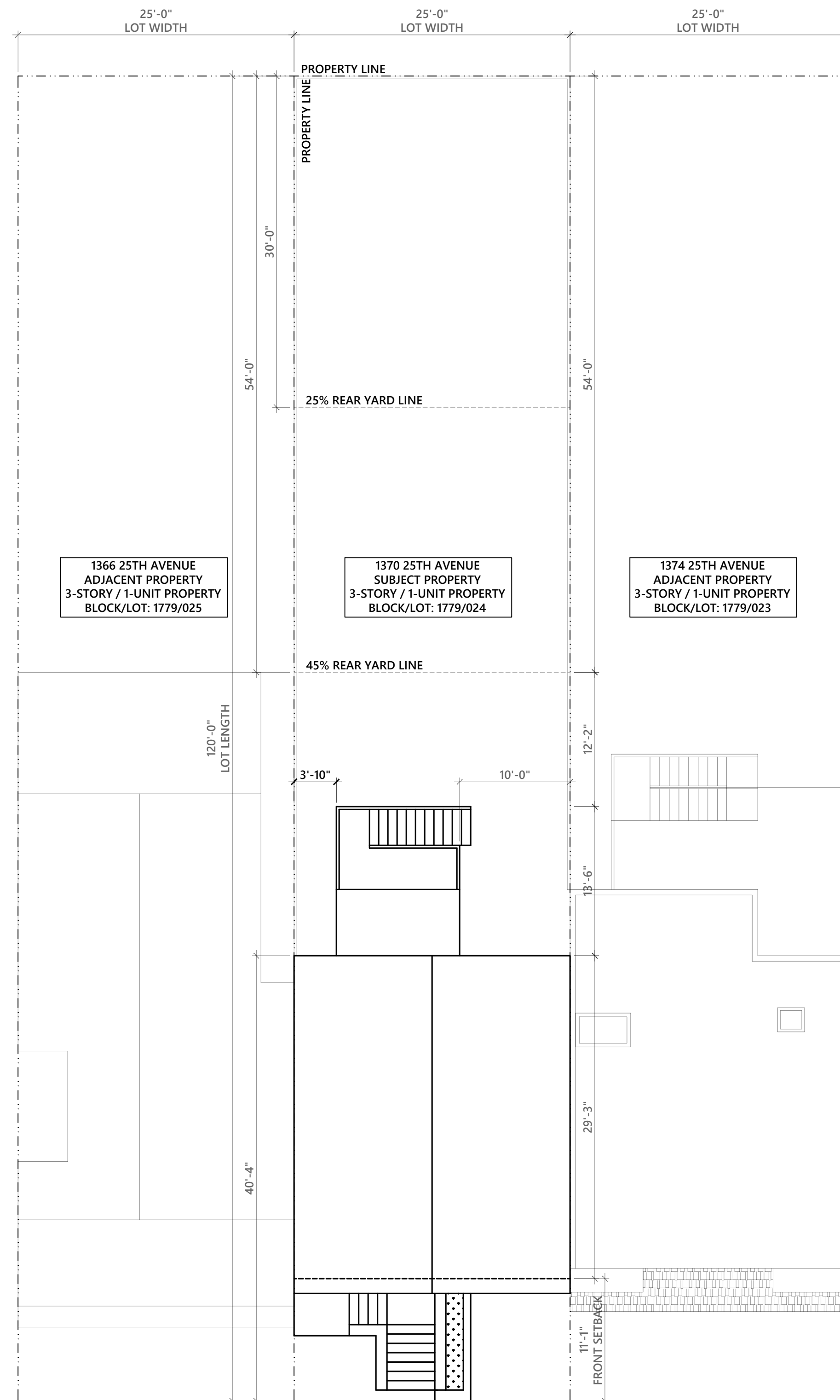
SCOPE OF WORK

RESIDENTIAL RENOVATION OF EXISTING SINGLE FAMILY DWELLING.

- NEW DORMERS.
- RECONSTRUCT INTERNAL STAIRCASE FROM FIRST TO SECOND FLOOR.
- REMODEL KITCHEN AND BATHROOMS.
- ADD (2) BEDROOMS & (2) BATHROOMS.
- 1-STORY HORIZONTAL EXTENSION AND REAR DECK.

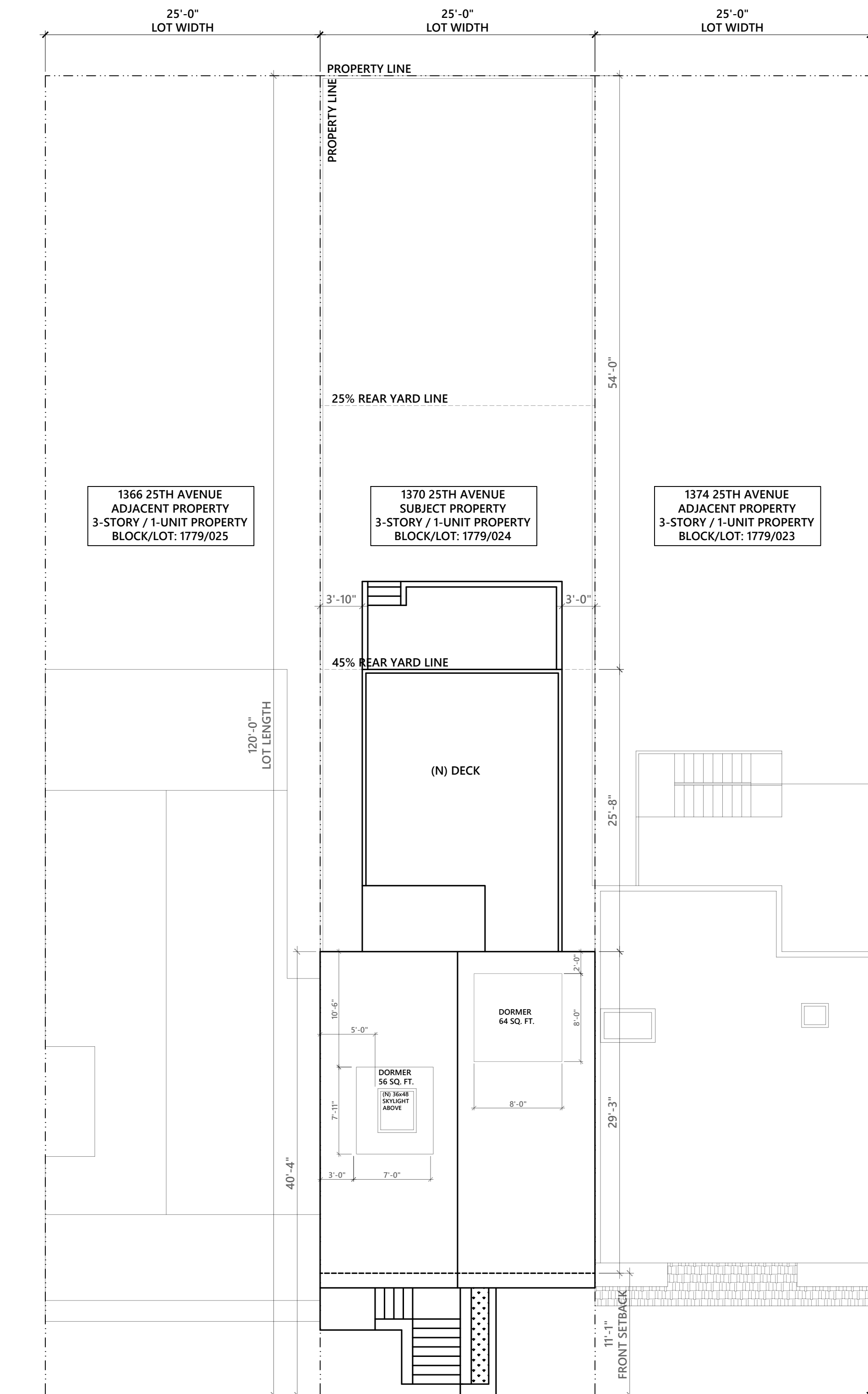
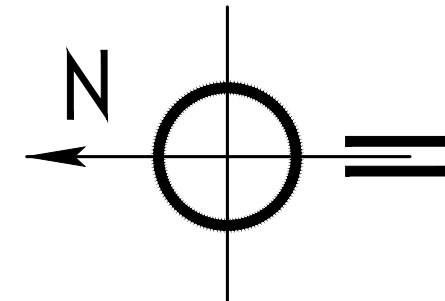
AREA CALCULATIONS

HABITABLE SPACE CALCULATIONS			
LEVEL	EXISTING HABITABLE AREA (SQ. FT.)	PROPOSED HABITABLE AREA (SQ. FT.)	INCREASE HABITABLE AREA (SQ. FT.)
GROUND FLOOR	0 SQ. FT.	989 SQ. FT.	989 SQ. FT.
SECOND FLOOR	785 SQ. FT.	785 SQ. FT.	0 SQ. FT.
THIRD FLOOR	816 SQ. FT.	816 SQ. FT.	0 SQ. FT.
TOTAL	1601 SQ. FT.	2590 SQ. FT.	989 SQ. FT.



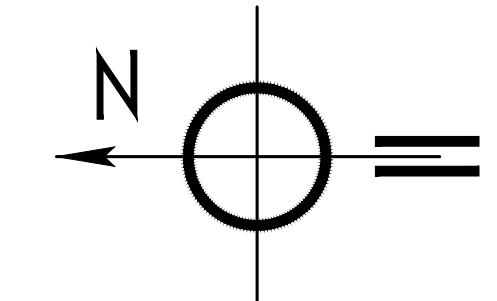
EXISTING SITE/ROOF PLAN

SCALE: 1/8"=1'-0"



PROPOSED SITE/ROOF PLAN

SCALE: 1/8"=1'-0"



#	DATE	ISSUES & REVISIONS	BY
0	01/10/20	PERMIT SUBMISSION	AS

DRAWN BY: A.S.

SHEET TITLE:

TITLE SHEET, GENERAL BUILDING INFORMATION & NOTES
EXISTING & PROPOSED SITE PLAN

SHEET NUMBER

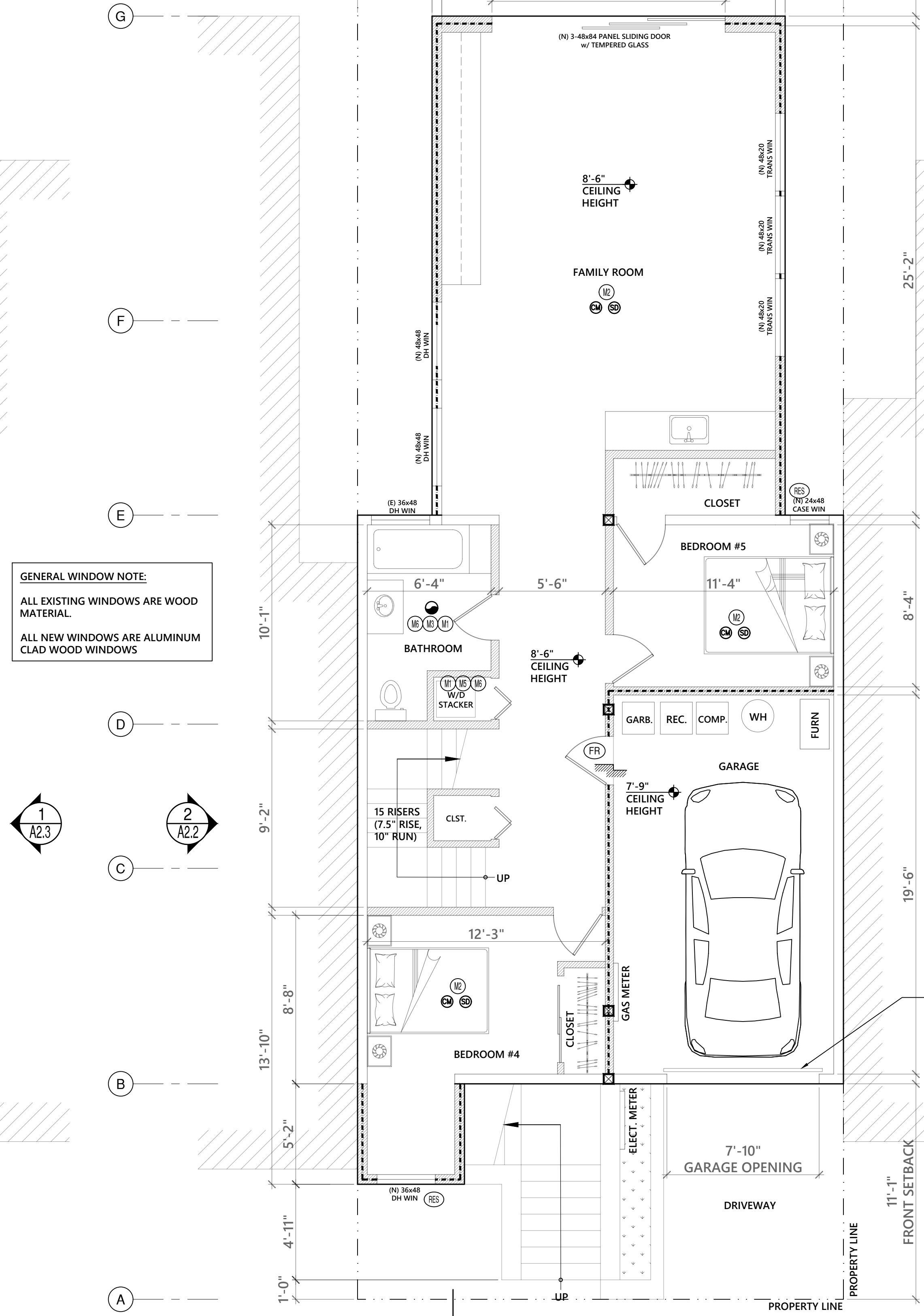
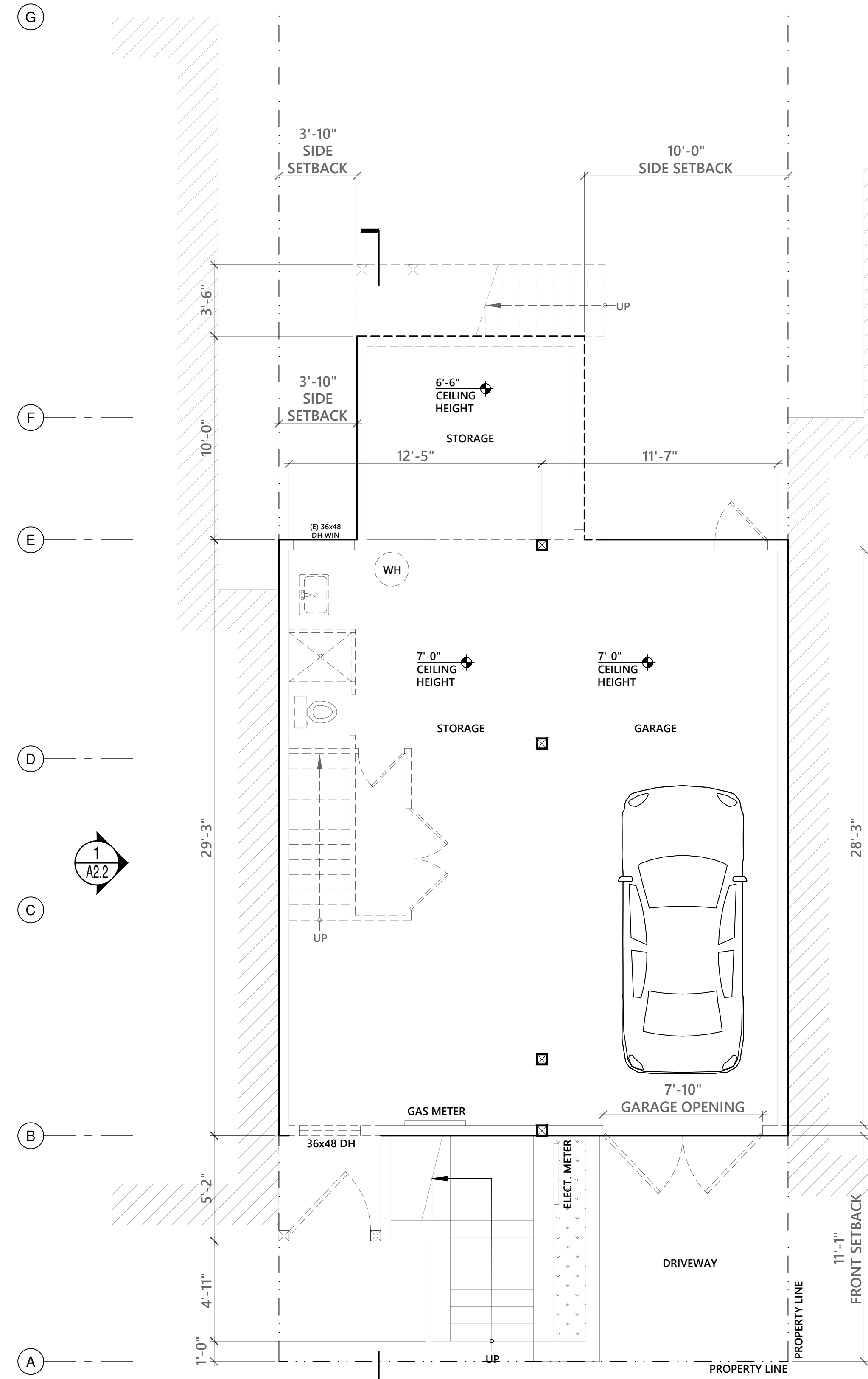
A0

LIGHT / AIR REQUIRED BY CBC SEC 1203.2 & 1203.3			
ROOM	TOTAL AREA	LIGHT (8.33% REQUIRED)	AIR / VENTILATION (4% REQUIRED)
FAMILY ROOM	400 SQ. FT.	33.33 SQ. FT. REQUIRED 56.0 SQ. FT. PROVIDED	16.0 SQ. FT. REQUIRED 16.0 SQ. FT. PROVIDED
BEDROOM #4	109 SQ. FT.	9.08 SQ. FT. REQUIRED 12.0 SQ. FT. PROVIDED	4.36 SQ. FT. REQUIRED 6.0 SQ. FT. PROVIDED
BEDROOM #5	95 SQ. FT.	7.9 SQ. FT. REQUIRED 8.0 SQ. FT. PROVIDED	3.8 SQ. FT. REQUIRED 8.0 SQ. FT. PROVIDED



DEMOLITION CALCULATIONS PER SF PLANNING CODE SEC. 311:
INTERIOR WALLS:
 TOTAL LINEAR FT OF (E) INTERIOR WALLS = 10'-0"
 TOTAL LINEAR FT OF (E) INTERIOR WALLS TO BE REMOVED = 7'-0"
 % (E) INTERIOR WALL DEMOLITION = 70%
EXTERIOR WALLS:
 TOTAL LINEAR FT OF (E) EXTERIOR WALLS = 128'-6"
 TOTAL LINEAR FT OF (E) EXTERIOR WALLS TO BE REMOVED = 25'-6"
 % (E) EXTERIOR WALL DEMOLITION = 20%

GENERAL WINDOW NOTE:
 ALL EXISTING WINDOWS ARE WOOD MATERIAL.
 ALL NEW WINDOWS ARE ALUMINUM CLAD WOOD WINDOWS



ELECTRICAL / MECHANICAL / ENERGY NOTES:

- BATHROOMS SHALL HAVE AT LEAST ONE HIGH EFFICACY LIGHT FIXTURE. ALL OTHER BATHROOM SHALL BE CONTROLLED BY VACANCY SENSORS PER CALIFORNIA ENERGY CODE 150(K)(5)
- ALL LIGHTING IN GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS PER CALIFORNIA ENERGY CODE 150(K)(6)
- ALL NEW LIGHTING INSTALLED IN HALLWAYS, LIVING ROOMS AND BEDROOMS SHALL BE HIGH EFFICACY AND CONTROLLED WITH A READILY ACCESSIBLE CONTROL THAT PERMITS THE LUMINARY TO BE MANUALLY TUN ON AND OFF.
- ALL ELECTRICAL CONDUCTOR MATERIAL SHALL BE COPPER
- ALL 15 AND 20 AMP RECEPTACLES IN BATHROOMS, GARAGE, KITCHENS, OUTLETS INSTALLED WITHIN 6'-0" OF BATHTUBS OR SHOWERS AND LAUNDRY AREAS SHALL BE PROTECTED BY A GROUND FAULT CIRCUIT INTERRUPTER (GFCI)
- ALL 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING ALL OUTLETS OR DEVICES IN NEW HABITABLE AND NON-HABITABLE ROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI)
- ALL 15 AND 20 AMP RECEPTACLES INSTALLED IN NEW CONSTRUCTION AND ALTERATION SHALL BE TAMPER RESISTANCE RECEPTACLES.
- PROVIDE ONE DEDICATED 20 AMP BRANCH CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS.
- PROVIDE DEDICATED 20 AMP GFCI BRANCH CIRCUIT FOR LAUNDRY RECEPTACLE OUTLETS.
- PROVIDE 2 COPIES OF A COMPLETED PRESCRIPTIVE ADDITIONS FORM 2019-CF-2R-ADD-02-E AT "FINAL INSPECTION" PREPARED BY CONTRACTOR CERTIFYING THE INSTALLATION OF MANDATORY BUILDING COMPONENTS ARE IN ACCORDANCE WITH CALIFORNIA ENERGY REGULATION
- TEMPORARY NFRC LABELS ON NEW WINDOWS AND EXTERIOR DOORS SHALL NOT BE REMOVED BEFORE INSPECTION BY ENFORCEMENT AUTHORITY.
- THE FOLLOWING OPENINGS SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED:
 - EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, INCLUDING DOORS BETWEEN HOUSE AND GARAGE, BETWEEN INTERIOR HVAC CLOSET AND CONDITIONED SPACE, BETWEEN ALL SOLE PLATES AND THE FLOOR, EXTERIOR PANELS AND ALL SIDING MATERIALS.
 - OPENINGS FOR PLUMBING, ELECTRICITY AND GAS LINES IN INTERIOR WALLS, CEILING AND FLOORS.
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3'-0" FROM ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH & UTILITY FANS, ETC.) MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS (CMC 502.2.1)

GAS METER:

- COMPLY WITH VENTILATION REQUIREMENTS PER THE MECHANICAL CODE AND ONE OF THE FOLLOWING:
 CONTINUOUS VENTILATION INTRODUCING FRESH AIR AT SIX AIR EXCHANGES PER HOUR.
 OR
 A COMBUSTIBLE GAS DETECTION SYSTEM, INTERLOCKED WITH AN AUTOMATIC VENTILATION SYSTEM THAT WILL PROVIDE FRESH AIR AT SIX AIR EXCHANGES PER HOUR UPON ACTIVATION OF THE DETECTIONS SYSTEM. THE GAS DETECTORS MUST BE SET AT 20% LOWER EXPLOSIVE LIMIT (LEL) (OR 1.0% CONCENTRATION OF NATURAL GAS IN AIR).
- TO ENSURE COMPLETE AIR EXCHANGE IN THE GAS METER ROOM, THE LOW-FRESH AIR INTAKE AND THE HIGH-EXHAUST AIR DUCT MUST BE AT OPPOSITE CORNERS WITHIN THE ROOM. EXTERIOR LOUVERS MUST BE IN A LOW-FRESH AIR AND HIGH-EXHAUST AIR CONFIGURATION AS FAR APART AS PRACTICAL AND ENSURE NO RE-CIRCULATION. THE BOTTOM OF THE HIGH-EXHAUST AIR LOUVER WILL BE OVER THE TRAVEL WAY AT LEAST 6'-0" ABOVE THE FINISH OUTSIDE GRADE AND WILL BE 10'-0" WAY FROM ANY WINDOW/DOOR OPENING INTO THE BUILDING.
- MECHANICAL FANS AND ALL OTHER ELECTRIC DEVICES IN THE GAS METER ROOM MUST BE EXPLOSION PROOF AND MEET THE REQUIREMENTS OF THE NFPA-70: NATIONAL ELECTRIC CODE FOR CLASS 1, DIVISION 1, GROUP D LOCATIONS.

PLUMBING NOTES:

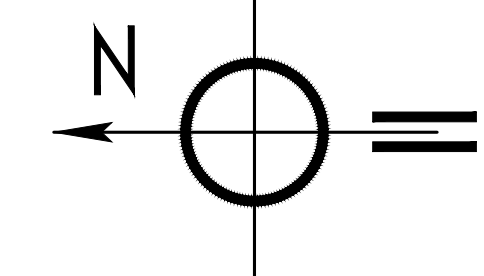
- PLASTIC PLUMBING PIPE SHALL NOT BE USED FOR THE DOMESTIC WATER SUPPLY OR SANITARY WASTE WITHIN THE BUILDING.
- SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCED OR THERMOSTATIC MIXING TYPE CONTROL VALVES.
- CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS.
- PROVIDE INSULATION ON ALL NEW DOMESTIC HOT WATER PIPING. INSULATION SHALL BE THE SAME THICKNESS OF THE WATER PIPING UP TO 2" WATER PIPING SIZE.
- MAX. 1.8 GALL./MIN. FOR SHOWER HEAD.
- MAX. 1.2 GALL./MIN. FOR BATHROOM FAUCETS (LAVATORY)
- MAX. 1.28 GALL./MIN. PER FLUSH FOR NEW TOILETS.
- MAX. WATER FACTOR EQUAL TO OR LESS THAN 6.0 FOR CLOTHES WASHERS.
- 1" INSULATION SHALL BE INSTALLED ON FIRST 5'-0" OF HOT AND COLD WATER PIPES AT WATER HEATER
- SHOWER DOORS SHALL MAINTAIN NOT LESS THAN A 22" UNOBSTRUCTED OPENING FOR EGRESS (CPC 408.5)
- 1.8 GALLONS PER MINUTE FOR KITCHEN FAUCETS, MAXIMUM (CGCB 4.303.1.4.4)

MECHANICAL NOTES	
MARK	DESCRIPTION
(M)	TERMINATE VENTS 3'-0" MIN. AWAY FROM PROPERTY LINE AND WALL OPENINGS
(L)	LIGHTING TO BE HIGH EFFICACY OR CONTROLLED BY DIMMER
(F)	(N) FAN - FL LIGHT CAPABLE OF 5 AIR CHANGES PER HR. w/ BACKDRAFT DAMPER AND HUMIDISTAT
(H)	HIGH EFFICACY LIGHTING TO HAVE 100% WATTAGE IN KITCHEN
(D)	PROVIDE LOUVERED DOOR
(E)	EXHAUST PER CMC TABLE 403.7. CONNECT EXHAUST TO (E) DUCT WORK
(R)	RESCUE WINDOW: 20"x24" CLR MIN. OPERABLE AREA 5.7 SQ FT MIN. 44" SILL MAX.
(F)	PROVIDE 36"x80", 60 MIN. FIRE-RATED DOOR w/ SELF-CLOSER, TIGHT-FITTING & SMOKE GASKETS

ELECTRICAL / MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
(V)	VENTILATING FAN MUST HAVE A SEPARATE SWITCH FROM THE BATHROOM LIGHT PER CENC 150(k)(2)(B)
(H)	110V HEAT / SMOKE DETECTOR - HARWIRE w/ BATTERY BACK-UP
(C)	CARBON MONOXIDE DETECTOR (ALARM SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP (CRC R315.1.1)

WALL LEGEND:

EXISTING WALL TO REMAIN	---
EXISTING WALL TO BE REMOVED	- - - -
NEW WALL	----
1 HR RATED INTERIOR WALL SEE ASSEMBLY DETAIL 2/A2.1	====
1 HR RATED EXTERIOR WALL SEE ASSEMBLY DETAIL 3/A2.1	=====



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#	DATE	ISSUES & REVISIONS	BY
0	01/10/20	PERMIT SUBMISSION	AS

DRAWN BY: A.S.
 SHEET TITLE:
 EXISTING/DEMO & PROPOSED GROUND FLOOR PLAN

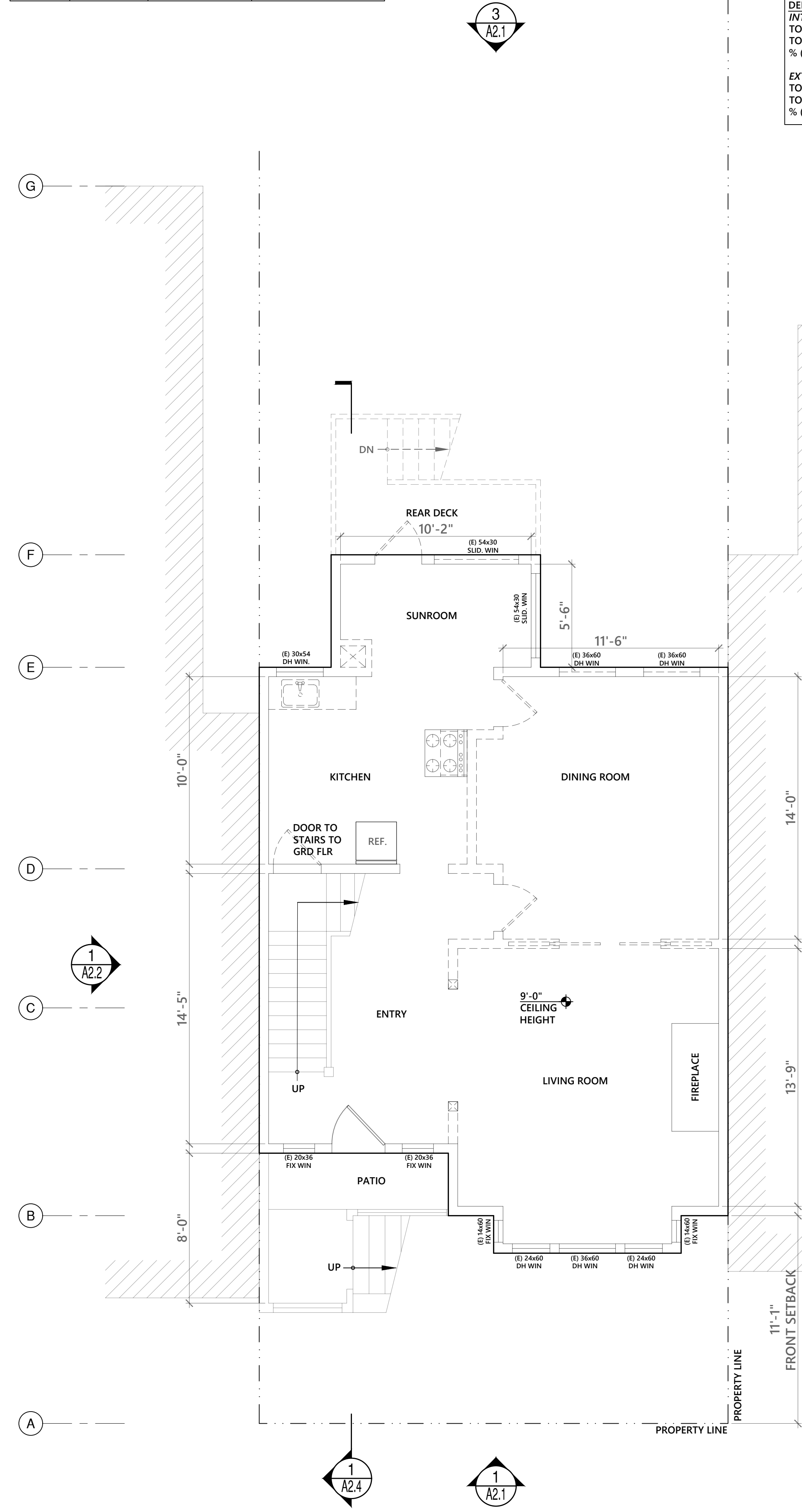
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ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE STRUCTURAL ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE STRUCTURAL ENGINEER.

EXISTING/DEMO GROUND FLOOR PLAN
 SCALE: 1/4"=1'-0"
 25TH AVENUE

PROPOSED GROUND FLOOR PLAN
 SCALE: 1/4"=1'-0"
 25TH AVENUE

LIGHT / AIR REQUIRED BY CBC SEC 1203.2 & 1203.3			
ROOM	TOTAL AREA	LIGHT (8.33% REQUIRED)	AIR / VENTILATION (4% REQUIRED)
LIVING ROOM	250 SQ. FT.	20.83 SQ. FT. REQUIRED 47.5 SQ. FT. PROVIDED	10.0 SQ. FT. REQUIRED 11.25 SQ. FT. PROVIDED
DINING ROOM / KITCHEN	360 SQ. FT.	30.0 SQ. FT. REQUIRED 56.7 SQ. FT. PROVIDED	14.4 SQ. FT. REQUIRED 17.5 SQ. FT. PROVIDED

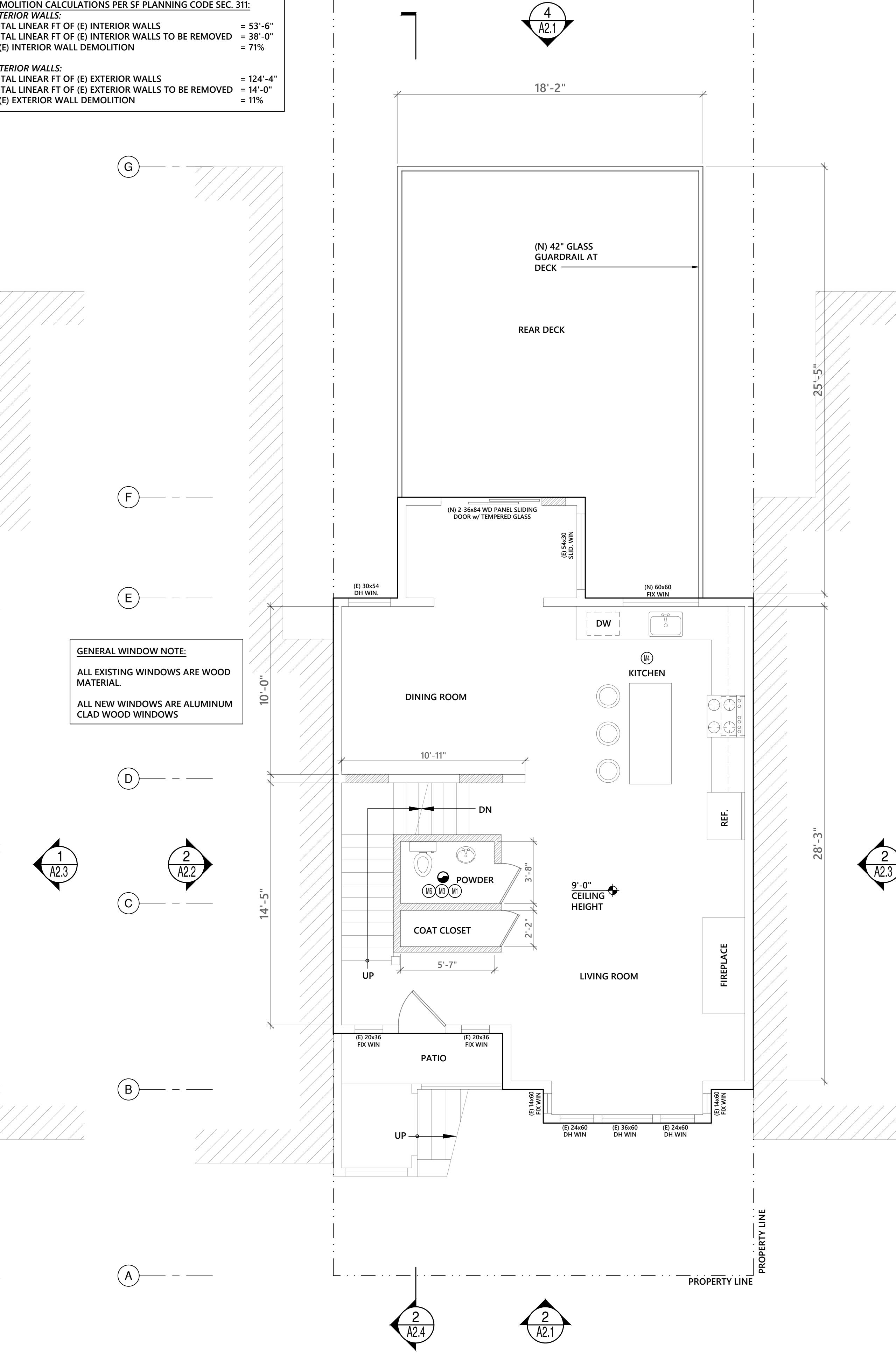


DEMOLITION CALCULATIONS PER SF PLANNING CODE SEC. 311:

INTERIOR WALLS:
 TOTAL LINEAR FT OF (E) INTERIOR WALLS = 53'-6"
 TOTAL LINEAR FT OF (E) INTERIOR WALLS TO BE REMOVED = 38'-0"
 % (E) INTERIOR WALL DEMOLITION = 71%

EXTERIOR WALLS:
 TOTAL LINEAR FT OF (E) EXTERIOR WALLS = 124'-4"
 TOTAL LINEAR FT OF (E) EXTERIOR WALLS TO BE REMOVED = 14'-0"
 % (E) EXTERIOR WALL DEMOLITION = 11%

GENERAL WINDOW NOTE:
 ALL EXISTING WINDOWS ARE WOOD MATERIAL
 ALL NEW WINDOWS ARE ALUMINUM CLAD WOOD WINDOWS



ELECTRICAL / MECHANICAL / ENERGY NOTES:

- BATHROOMS SHALL HAVE AT LEAST ONE HIGH EFFICACY LIGHT FIXTURE. ALL OTHER BATHROOM SHALL BE CONTROLLED BY VACANCY SENSORS PER CALIFORNIA ENERGY CODE 150(K)(5)
- ALL LIGHTING IN GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS PER CALIFORNIA ENERGY CODE 150(K)(6)
- ALL NEW LIGHTING INSTALLED IN HALLWAYS, LIVING ROOMS AND BEDROOMS SHALL BE HIGH EFFICACY AND CONTROLLED WITH A READILY ACCESSIBLE CONTROL THAT PERMITS THE LUMINARY TO BE MANUALLY TUN ON AND OFF.
- ALL ELECTRICAL CONDUCTOR MATERIAL SHALL BE COPPER
- ALL 15 AND 20 AMP RECEPTACLES IN BATHROOMS, GARAGE, KITCHENS, OUTLETS INSTALLED WITHIN 6'-0" OF BATHTUBS OR SHOWERS AND LAUNDRY AREAS SHALL BE PROTECTED BY A GROUND FAULT CIRCUIT INTERRUPTER (GFCI)
- ALL 15 AND 20 AMP BRANCH CIRCUITS, SUPPLYING ALL OUTLETS OR DEVICES IN NEW HABITABLE AND NON-HABITABLE ROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI)
- ALL 15 AND 20 AMP RECEPTACLES INSTALLED IN NEW CONSTRUCTION AND ALTERATION SHALL BE TAMPER RESISTANCE RECEPTACLES.
- PROVIDE ONE DEDICATED 20 AMP BRANCH CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS.
- PROVIDE DEDICATED 20 AMP GFCI BRANCH CIRCUIT FOR LAUNDRY RECEPTACLE OUTLETS.
- PROVIDE 2 COPIES OF A COMPLETED PRESCRIPTIVE ADDITIONS FORM 2019-CF-2R-ADD-02-E AT "FINAL INSPECTION" PREPARED BY CONTRACTOR CERTIFYING THE INSTALLATION OF MANDATORY BUILDING COMPONENTS ARE IN ACCORDANCE WITH CALIFORNIA ENERGY REGULATION.
- TEMPORARY NFRC LABELS ON NEW WINDOWS AND EXTERIOR DOORS SHALL NOT BE REMOVED BEFORE INSPECTION BY ENFORCEMENT AUTHORITY.
- THE FOLLOWING OPENINGS SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED:
 - EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, INCLUDING DOORS BETWEEN HOUSE AND GARAGE, BETWEEN INTERIOR HVAC CLOSET AND CONDITIONED SPACE, BETWEEN ALL SOLE PLATES AND THE FLOOR, EXTERIOR PANELS AND ALL SIDING MATERIALS.
 - OPENINGS FOR PLUMBING, ELECTRICITY AND GAS LINES IN INTERIOR WALLS, CEILING AND FLOORS.
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3'-0" FROM ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH & UTILITY FANS, ETC.) MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS (CMC 502.2.1)

GAS METER:

- COMPLY WITH VENTILATION REQUIREMENTS PER THE MECHANICAL CODE AND ONE OF THE FOLLOWING:
 - CONTINUOUS VENTILATION INTRODUCING FRESH AIR AT SIX AIR EXCHANGES PER HOUR.
 - OR
 - A COMBUSTIBLE GAS DETECTION SYSTEM, INTERLOCKED WITH AN AUTOMATIC VENTILATION SYSTEM THAT WILL PROVIDE FRESH AIR AT SIX AIR EXCHANGES PER HOUR UPON ACTIVATION OF THE DETECTIONS SYSTEM. THE GAS DETECTORS MUST BE SET AT 20% LOWER EXPLOSIVE LIMIT (LEL) (OR 1.0% CONCENTRATION OF NATURAL GAS IN AIR).
- TO ENSURE COMPLETE AIR EXCHANGE IN THE GAS METER ROOM, THE LOW-FRESH AIR INTAKE AND THE HIGH-EXHAUST AIR DUCT MUST BE AT OPPOSITE CORNERS WITHIN THE ROOM. EXTERIOR LOUVERS MUST BE IN A LOW-FRESH AIR AND HIGH-EXHAUST AIR CONFIGURATION AS FAR APART AS PRACTICAL AND ENSURE NO RE-CIRCULATION. THE BOTTOM OF THE HIGH-EXHAUST AIR LOUVER WILL BE OVER THE TRAVEL WAY AT LEAST 6'-0" ABOVE THE FINISH OUTSIDE GRADE AND WILL BE 10'-0" WAY FROM ANY WINDOW/DOOR OPENING INTO THE BUILDING.
- MECHANICAL FANS AND ALL OTHER ELECTRIC DEVICES IN THE GAS METER ROOM MUST BE EXPLOSION PROOF AND MEET THE REQUIREMENTS OF THE NFPA-70: NATIONAL ELECTRIC CODE FOR CLASS I, DIVISION 1, GROUP D LOCATIONS.

PLUMBING NOTES:

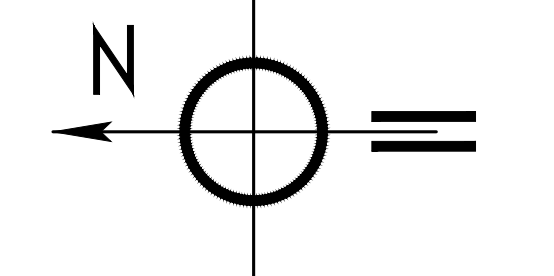
- PLASTIC PLUMBING PIPE SHALL NOT BE USED FOR THE DOMESTIC WATER SUPPLY OR SANITARY WASTE WITHIN THE BUILDING.
- SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCED OR THERMOSTATIC MIXING TYPE CONTROL VALVES.
- CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS.
- PROVIDE INSULATION ON ALL NEW DOMESTIC HOT WATER PIPING. INSULATION SHALL BE THE SAME THICKNESS OF THE WATER PIPING UP TO 2" WATER PIPING SIZE.
- MAX. 1.8 GALL/MIN. FOR SHOWER HEAD.
- MAX. 1.2 GALL/MIN. FOR BATHROOM FAUCETS (LAVATORY)
- MAX. 1.28 GALL/MIN. PER FLUSH FOR NEW TOILETS.
- MAX. WATER FACTOR EQUAL TO OR LESS THAN 6.0 FOR CLOTHES WASHERS.
- 1" INSULATION SHALL BE INSTALLED ON FIRST 5'-0" OF HOT AND COLD WATER PIPES AT WATER HEATER
- SHOWER DOORS SHALL MAINTAIN NOT LESS THAN A 22" UNOBSTRUCTED OPENING FOR EGRESS (CPC 408.5)
- 1.8 GALLONS PER MINUTE FOR KITCHEN FAUCETS, MAXIMUM (CGCB 4.303.1.4.4)

MARK	DESCRIPTION
(M)	TERMINATE VENTS 3'-0" MIN. AWAY FROM PROPERTY LINE AND WALL OPENINGS
(L)	LIGHTING TO BE HIGH EFFICACY OR CONTROLLED BY DIMMER
(F)	(N) FAN - FL. LIGHT CAPABLE OF 5 AIR CHANGES PER HR. w/ BACKDRAFT DAMPER AND HUMIDISTAT
(H)	HIGH EFFICACY LIGHTING TO HAVE 100% WATTAGE IN KITCHEN
(D)	PROVIDE LOUVERED DOOR
(E)	EXHAUST PER CMC TABLE 403.7. CONNECT EXHAUST TO (E) DUCT WORK
(R)	RESCUE WINDOW: 20"x24" CLR MIN. OPERABLE AREA 5.7 SQ FT MIN. 44" SILL MAX. PROVIDE 36"x60", 60 MIN. FIRE-RATED DOOR w/ SELF-CLOSER, TIGHT-FITTING & SMOKE GASKETS

SYMBOL	DESCRIPTION
(V)	VENTILATING FAN MUST HAVE A SEPARATE SWITCH FROM THE BATHROOM LIGHT PER CENC 150(k)(2)(B)
(H)	110V HEAT / SMOKE DETECTOR - HARWIRE w/ BATTERY BACK-UP
(C)	CARBON MONOXIDE DETECTOR (ALARM SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP (CRC R315.1.1)

WALL LEGEND:

EXISTING WALL TO REMAIN	---
EXISTING WALL TO BE REMOVED	----
NEW WALL	----
1 HR RATED INTERIOR WALL SEE ASSEMBLY DETAIL 2/A2.1	----
1 HR RATED EXTERIOR WALL SEE ASSEMBLY DETAIL 3/A2.1	----



#	DATE	ISSUES & REVISIONS	BY
0	01/10/20	PERMIT SUBMISSION	AS

DRAWN BY: A.S.
 SHEET TITLE:

EXISTING/DEMO & PROPOSED
 SECOND FLOOR PLAN

SHEET NUMBER

A1.2

EXISTING/DEMO SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"

PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"

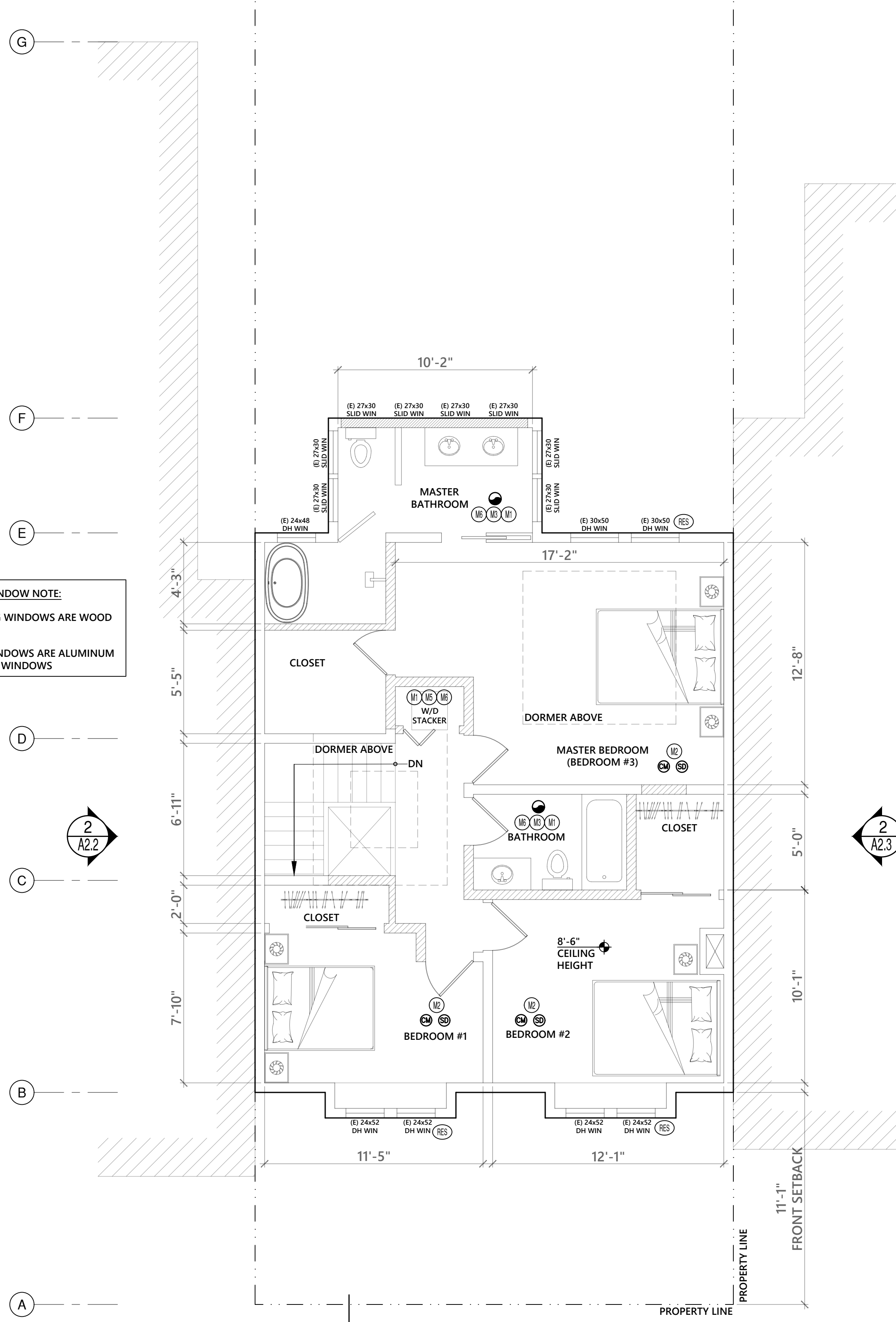
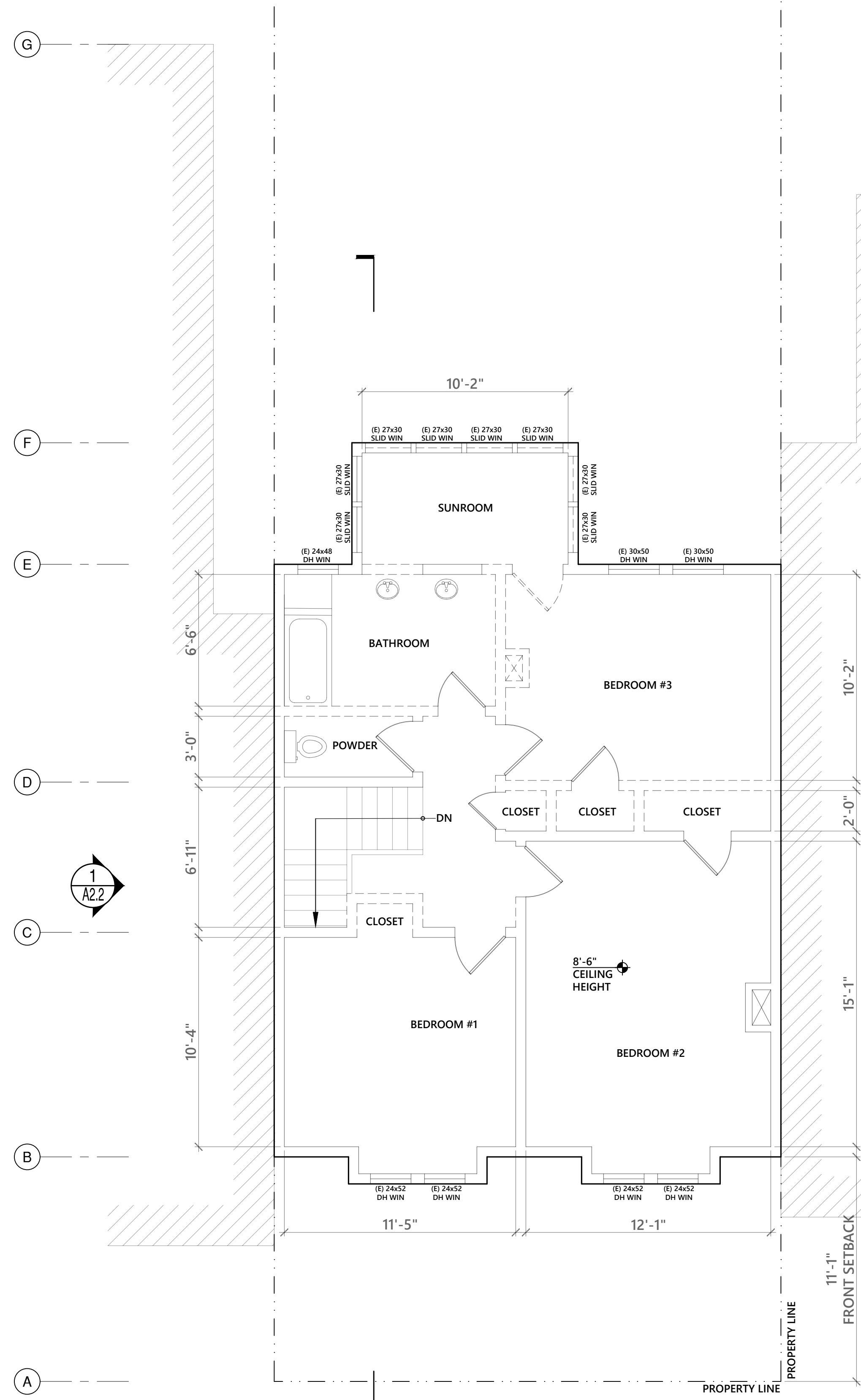
LIGHT / AIR REQUIRED BY CBC SEC 1203.2 & 1203.3			
ROOM	TOTAL AREA	LIGHT (8.33% REQUIRED) 17.3 SQ. FT. PROVIDED	AIR / VENTILATION (4% REQUIRED) 8.7 SQ. FT. PROVIDED
BEDROOM #1	95 SQ. FT.	7.92 SQ. FT. REQUIRED	3.80 SQ. FT. REQUIRED
BEDROOM #2	123 SQ. FT.	10.25 SQ. FT. REQUIRED	4.92 SQ. FT. REQUIRED
BEDROOM #3	195 SQ. FT.	16.25 SQ. FT. REQUIRED	7.80 SQ. FT. REQUIRED

3
A2.1

DEMOLITION CALCULATIONS PER SF PLANNING CODE SEC. 311:
INTERIOR WALLS:
 TOTAL LINEAR FT OF (E) INTERIOR WALLS = 90'-0"
 TOTAL LINEAR FT OF (E) INTERIOR WALLS TO BE REMOVED = 41'-6"
 % (E) INTERIOR WALL DEMOLITION = 46%
EXTERIOR WALLS:
 TOTAL LINEAR FT OF (E) EXTERIOR WALLS = 125'-10"
 TOTAL LINEAR FT OF (E) EXTERIOR WALLS TO BE REMOVED = 15'-0"
 % (E) EXTERIOR WALL DEMOLITION = 12%

4
A2.1

GENERAL WINDOW NOTE:
 ALL EXISTING WINDOWS ARE WOOD MATERIAL.
 ALL NEW WINDOWS ARE ALUMINUM CLAD WOOD WINDOWS



ELECTRICAL / MECHANICAL / ENERGY NOTES:

- BATHROOMS SHALL HAVE AT LEAST ONE HIGH EFFICACY LIGHT FIXTURE. ALL OTHER BATHROOM SHALL BE CONTROLLED BY VACANCY SENSORS PER CALIFORNIA ENERGY CODE 150(K)(5)
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- ALL NEW LIGHTING INSTALLED IN HALLWAYS, LIVING ROOMS AND BEDROOMS SHALL BE HIGH EFFICACY AND CONTROLLED WITH A READILY ACCESSIBLE CONTROL THAT PERMITS THE LUMINARY TO BE MANUALLY TUN ON AND OFF.
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PLUMBING NOTES:

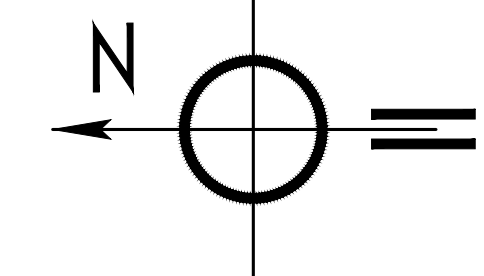
- PLASTIC PLUMBING PIPE SHALL NOT BE USED FOR THE DOMESTIC WATER SUPPLY OR SANITARY WASTE WITHIN THE BUILDING.
- SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCED OR THERMOSTATIC MIXING TYPE CONTROL VALVES.
- CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS.
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MARK	DESCRIPTION
(M)	TERMINATE VENTS 3'-0" MIN. AWAY FROM PROPERTY LINE AND WALL OPENINGS
(MC)	LIGHTING TO BE HIGH EFFICACY OR CONTROLLED BY DIMMER
(ME)	(N) FAN - FL LIGHT CAPABLE OF 5 AIR CHANGES PER HR. w/ BACKDRAFT DAMPER AND HUMIDISTAT
(MF)	HIGH EFFICACY LIGHTING TO HAVE 100% WATTAGE IN KITCHEN
(MG)	PROVIDE LOUVERED DOOR
(MH)	EXHAUST PER CMC TABLE 403.7. CONNECT EXHAUST TO (E) DUCT WORK
(MI)	RESCUE WINDOW, 20"x24" CLR MIN. OPERABLE AREA 5.7 SQ FT MIN. 44" SILL MAX.
(MR)	PROVIDE 36"x80", 60 MIN. FIRE-RATED DOOR w/ SELF-CLOSER, TIGHT-FITTING & SMOKE GASKETS

SYMBOL	DESCRIPTION
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(C)	CARBON MONOXIDE DETECTOR (ALARM SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP (CRC R315.1.1)

WALL LEGEND:

EXISTING WALL TO REMAIN	---
EXISTING WALL TO BE REMOVED	- - - - -
NEW WALL	=====
1 HR RATED INTERIOR WALL SEE ASSEMBLY DETAIL 2/A2.1	=====
1 HR RATED EXTERIOR WALL SEE ASSEMBLY DETAIL 3/A2.1	=====



#	DATE	ISSUES & REVISIONS	BY
0	01/10/20	PERMIT SUBMISSION	AS

DRAWN BY: A.S.
 SHEET TITLE:

EXISTING/DEMO & PROPOSED
 THIRD FLOOR PLAN

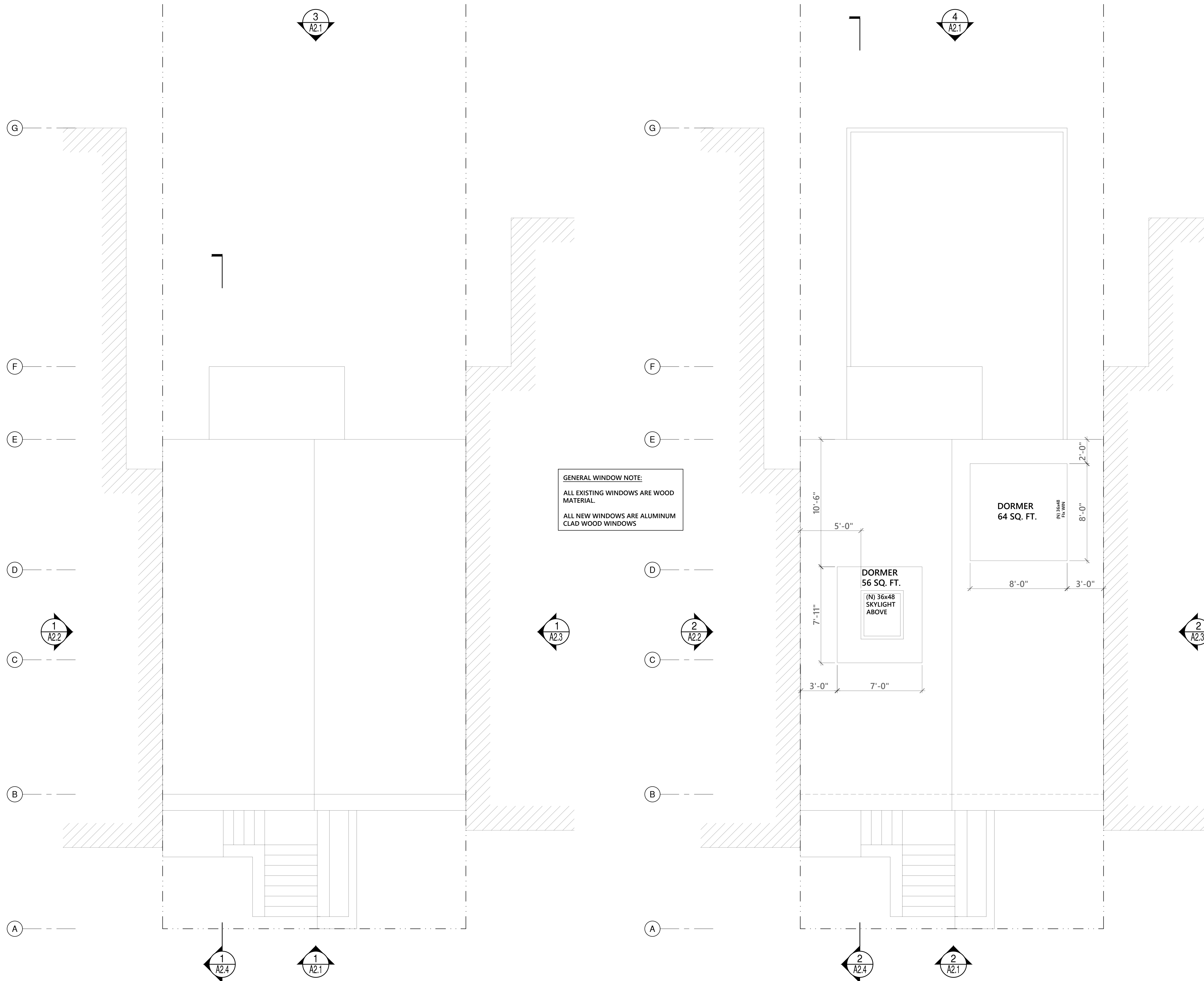
SHEET NUMBER

A1.3

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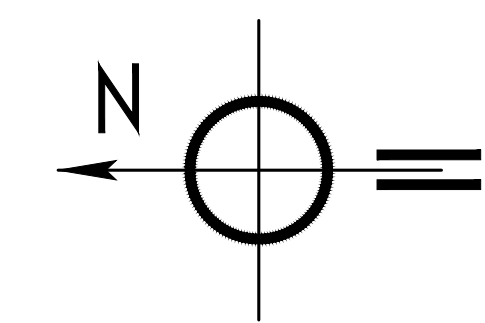
EXISTING/DEMO THIRD FLOOR PLAN
 SCALE: 1/4"=1'-0"

PROPOSED THIRD FLOOR PLAN
 SCALE: 1/4"=1'-0"



MAXIMUM DORMER AREA
 = 20% OF TOTAL HORIZONTAL ROOF SURFACE AREA
 = 0.20 x 831 SQ. FT.
 = 166 SQ. FT.

TOTAL DORMER PROVIDED
 = 64 SQ. FT. + 56 SQ. FT.
 = 120 SQ. FT. > 66 SQ. FT. (ACCEPTABLE)



EXISTING/DEMO ROOF PLAN
 SCALE: 1/4"=1'-0"

PROPOSED ROOF FLOOR PLAN
 SCALE: 1/4"=1'-0"

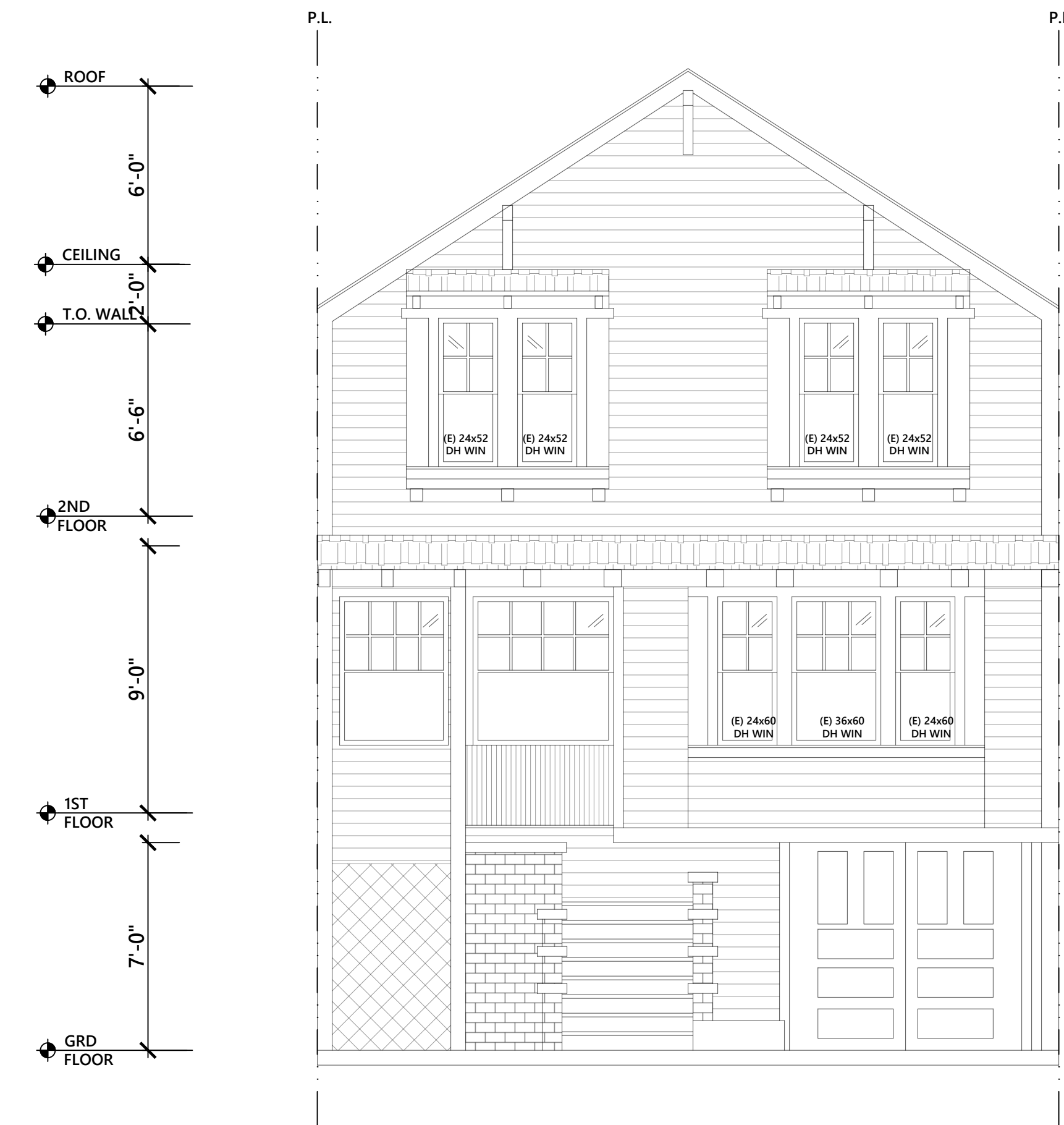
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DRAWN BY: A.S.
 SHEET TITLE:

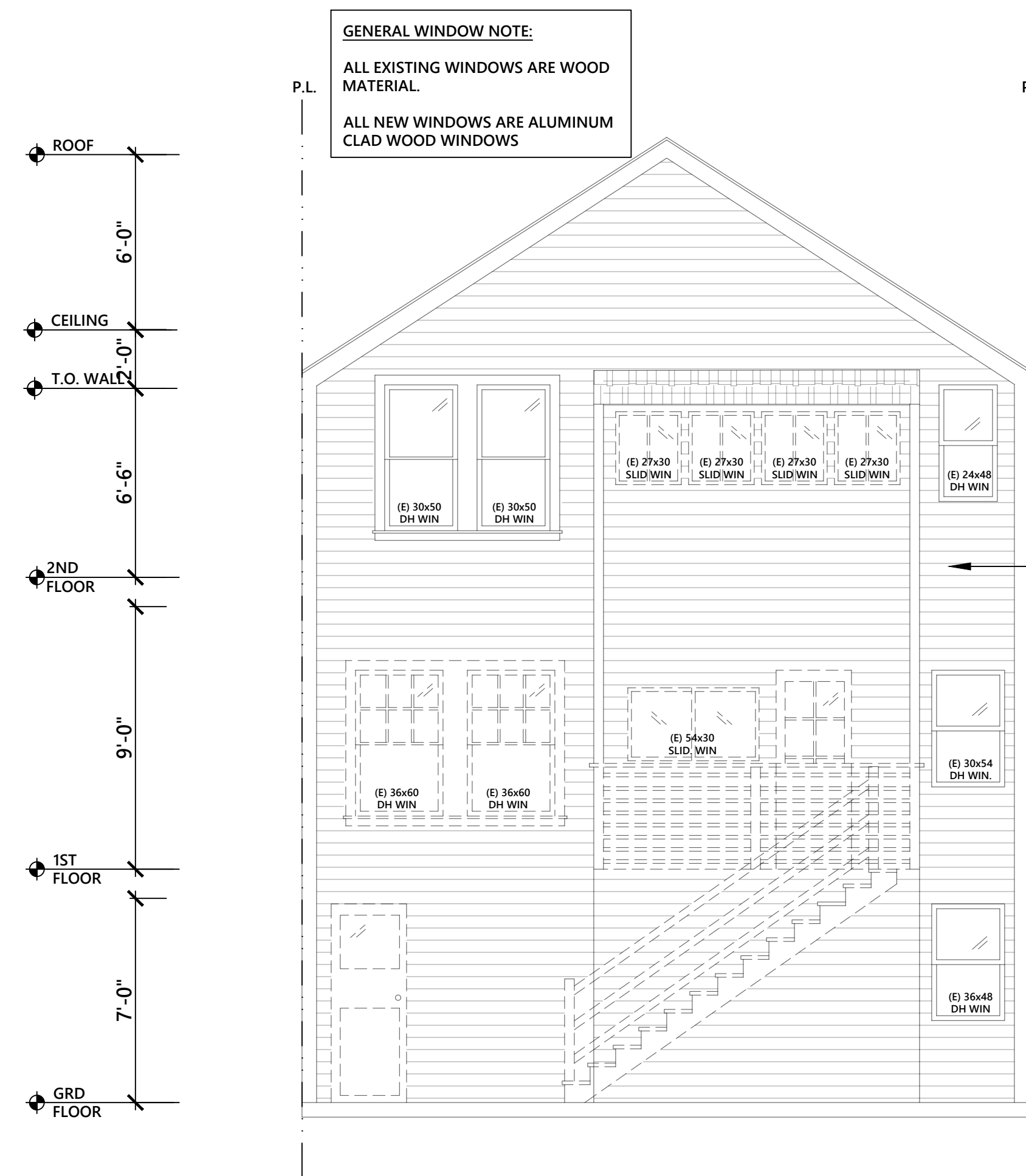
EXISTING/DEMO & PROPOSED
 ROOF PLAN

SHEET NUMBER

A1.4



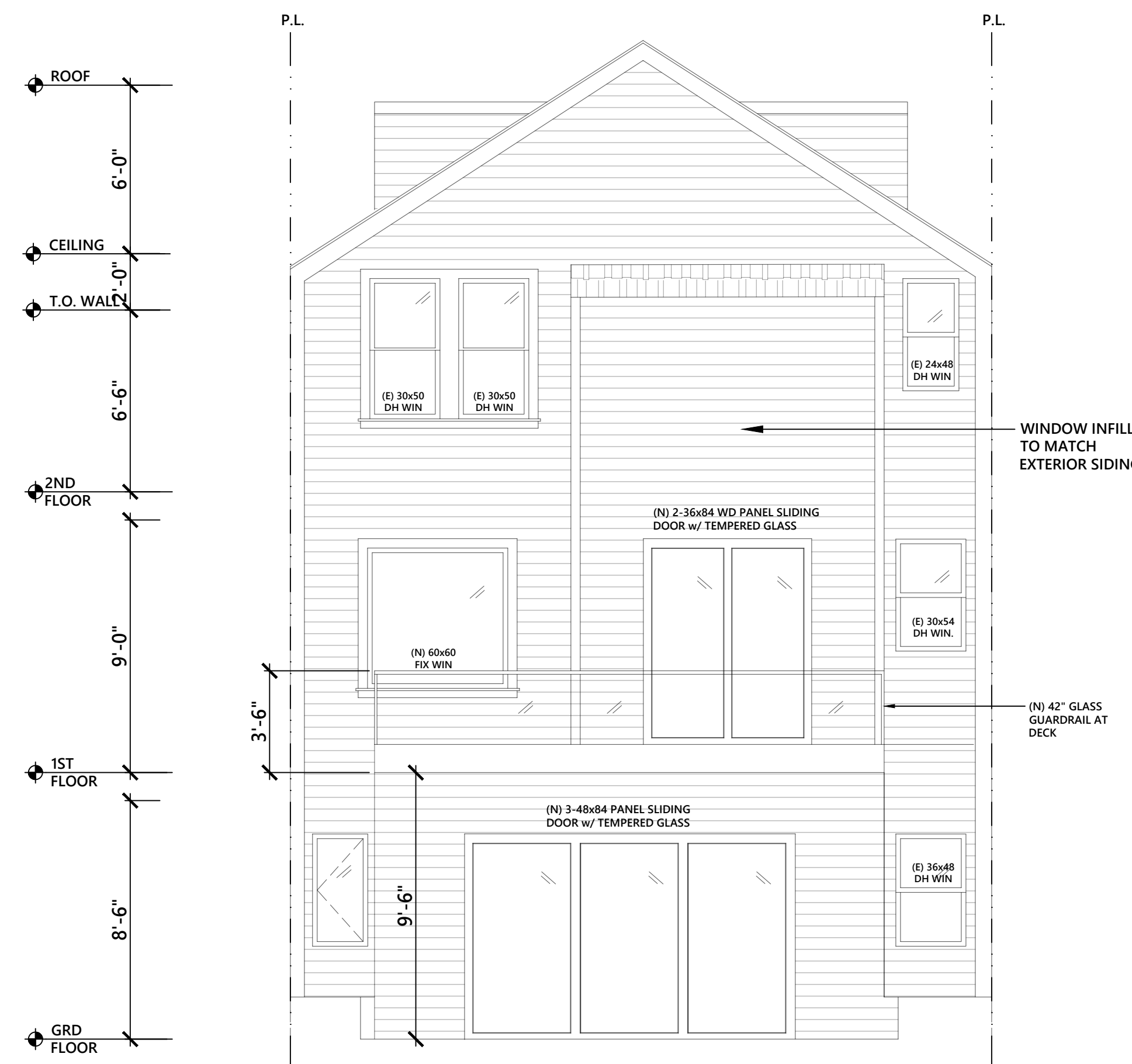
1 EXISTING FRONT (WEST) ELEVATION
 SCALE: 1/4"=1'-0"



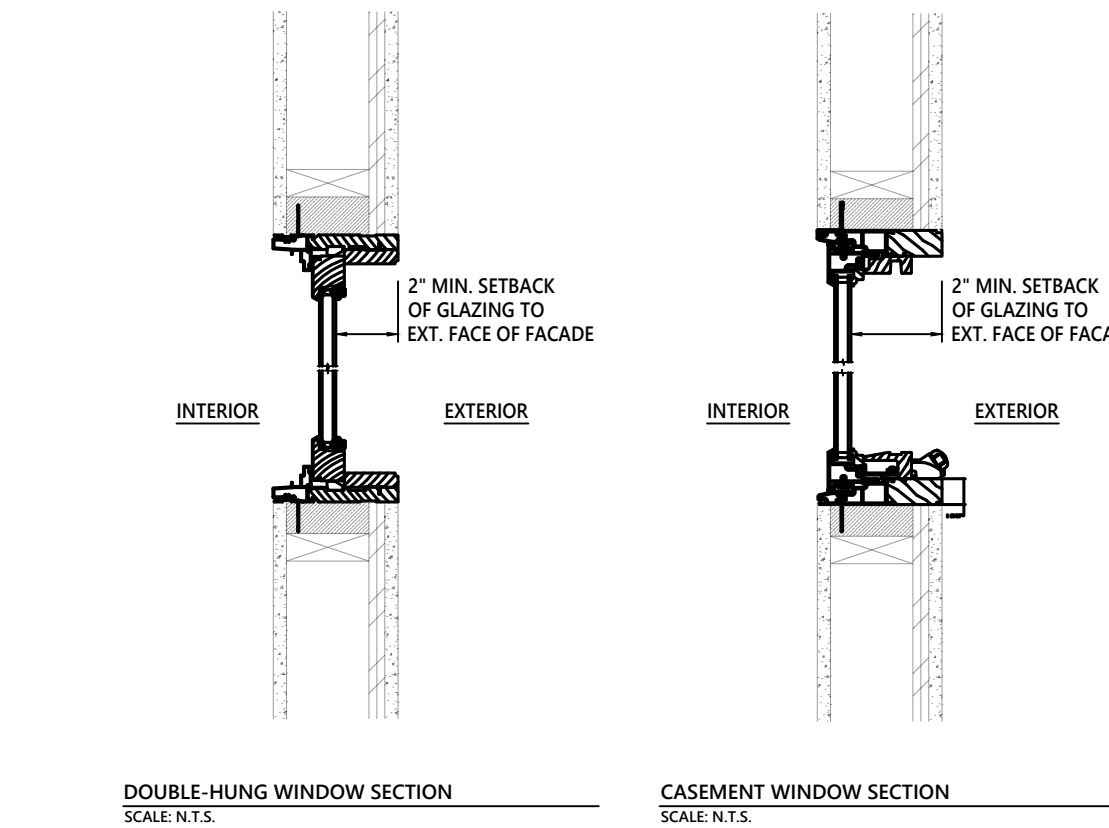
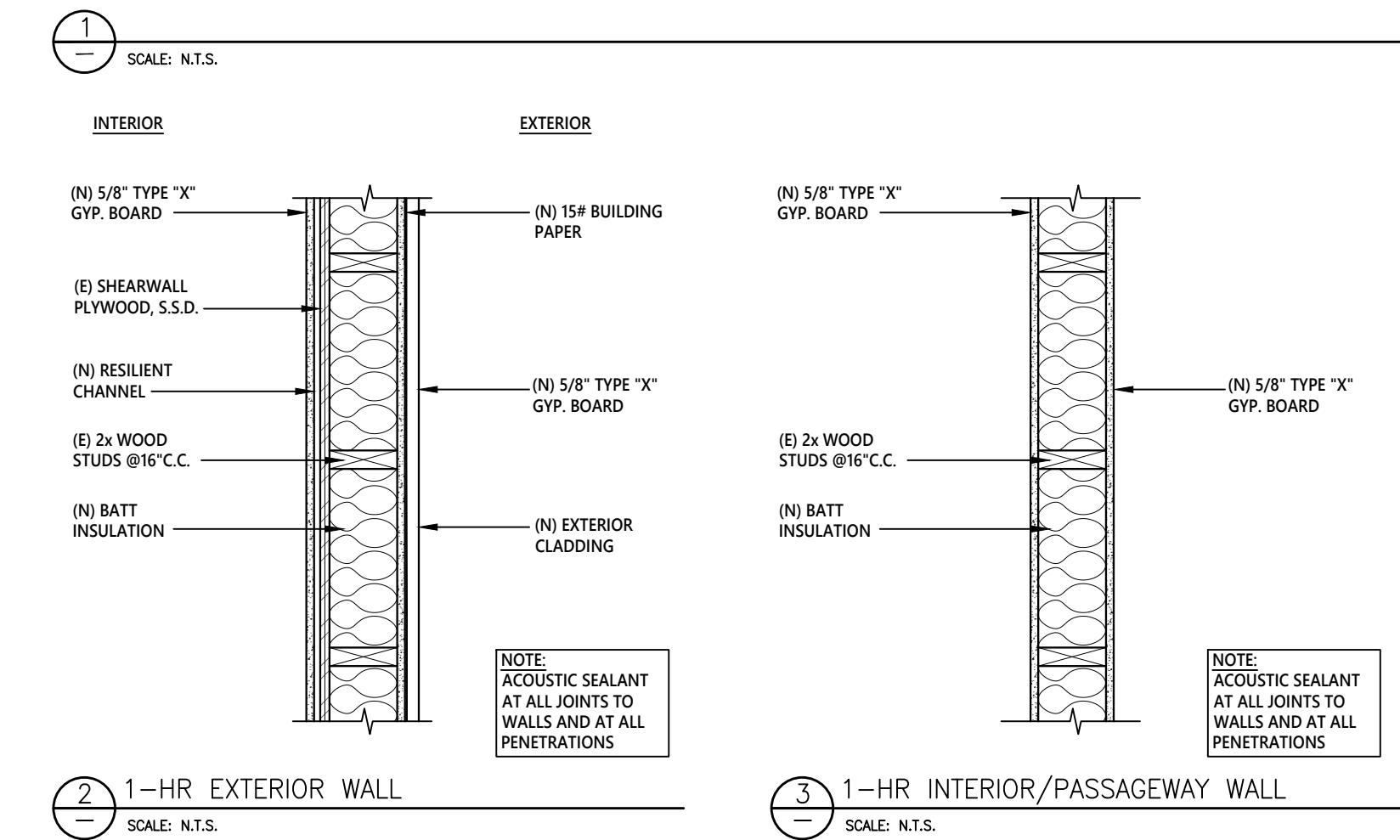
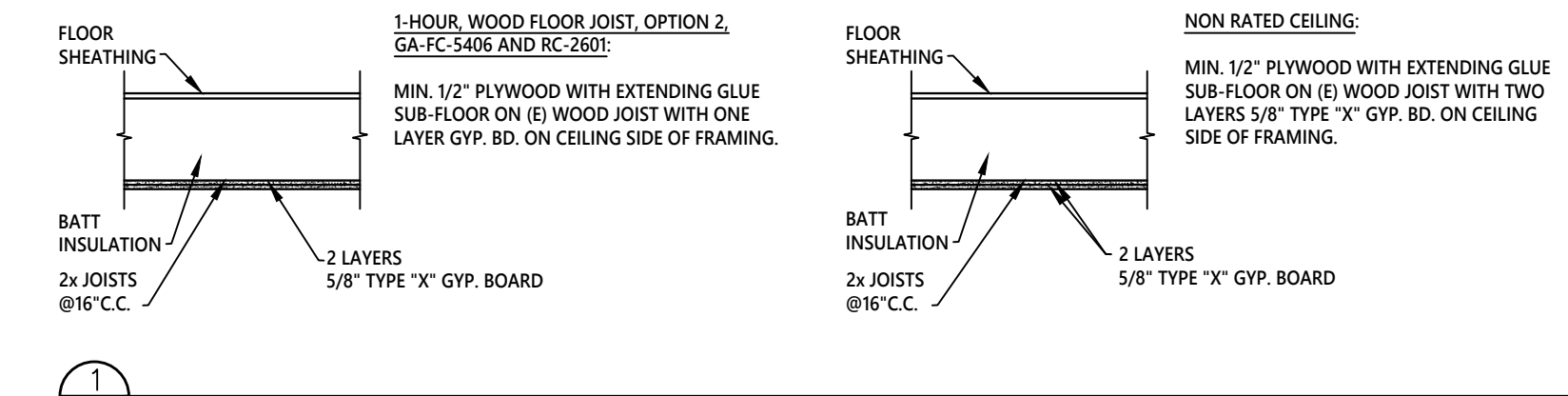
3 EXISTING REAR (EAST) ELEVATION
 SCALE: 1/4"=1'-0"



2 PROPOSED FRONT (WEST) ELEVATION
 SCALE: 1/4"=1'-0"



4 PROPOSED REAR (EAST) ELEVATION
 SCALE: 1/4"=1'-0"



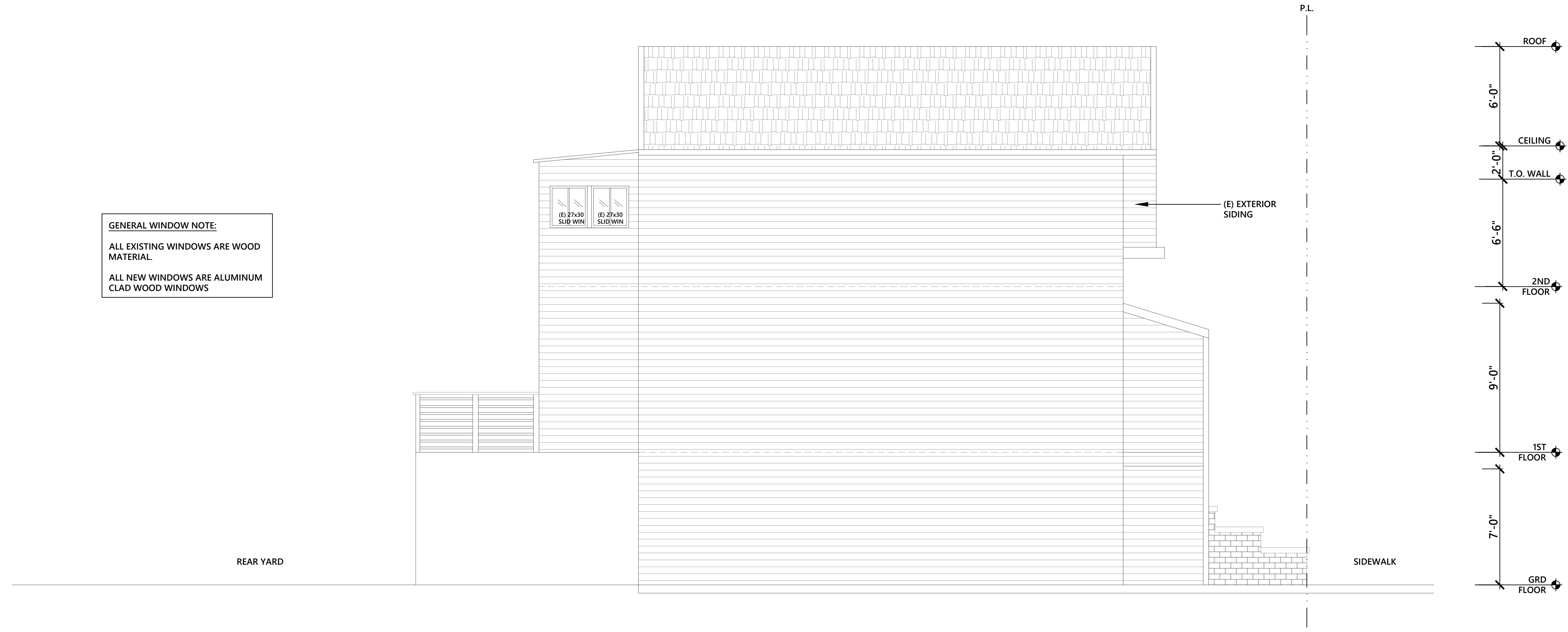
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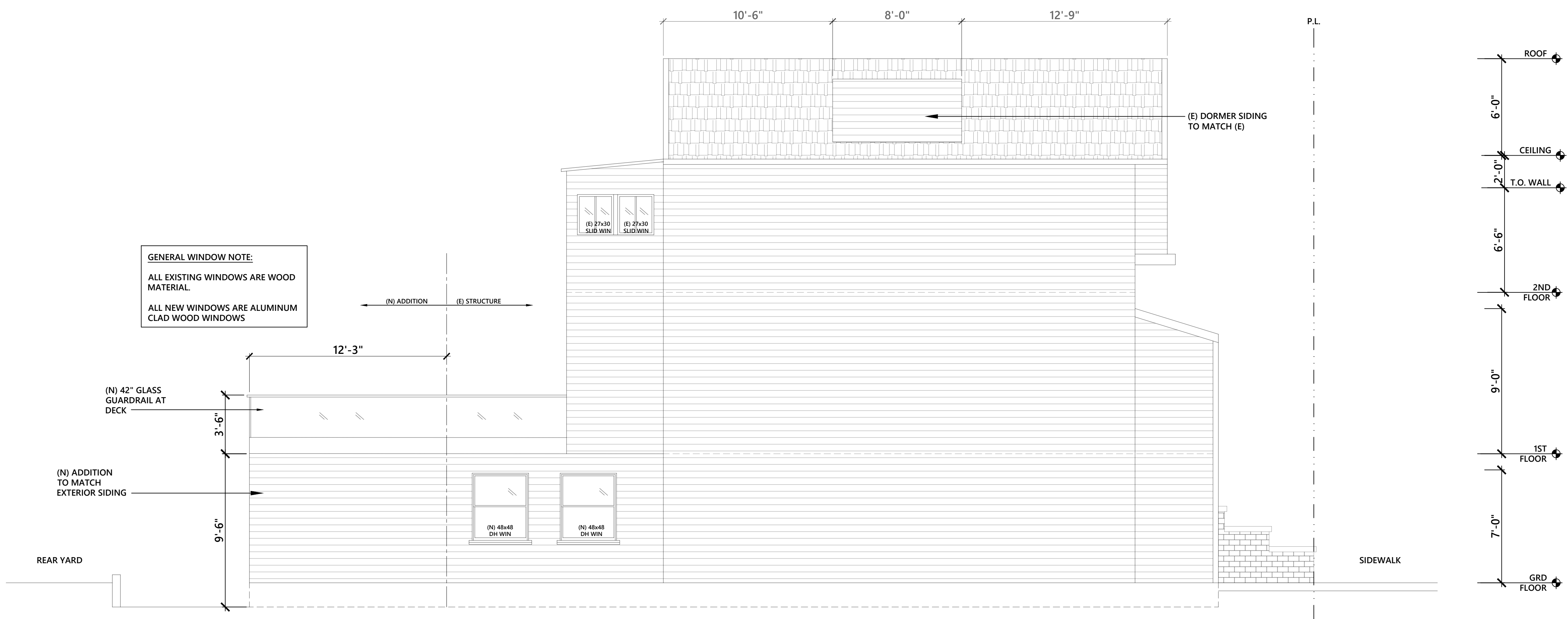
EXISTING/DEMO & PROPOSED
 FRONT & REAR ELEVATION

SHEET NUMBER

A2.1



1 EXISTING / DEMO SIDE (NORTH) ELEVATION
 SCALE: 1/4"=1'-0"



1 PROPOSED SIDE (NORTH) ELEVATION
 SCALE: 1/4"=1'-0"

#	DATE	ISSUES & REVISIONS	BY
0	01/10/20	PERMIT SUBMISSION	AS

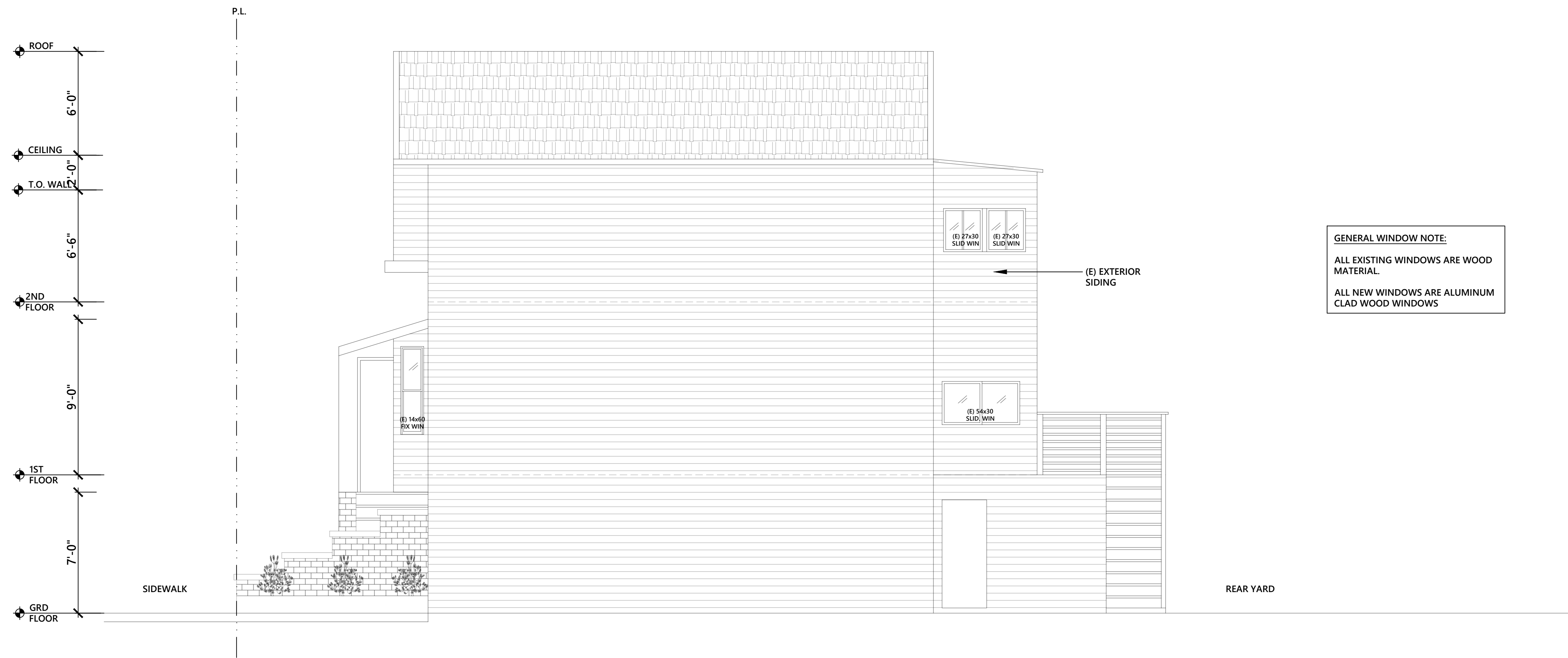
DRAWN BY: A.S.
 SHEET TITLE:

EXISTING/DEMO & PROPOSED
 SIDE (NORTH) ELEVATION

SHEET NUMBER
A2.2

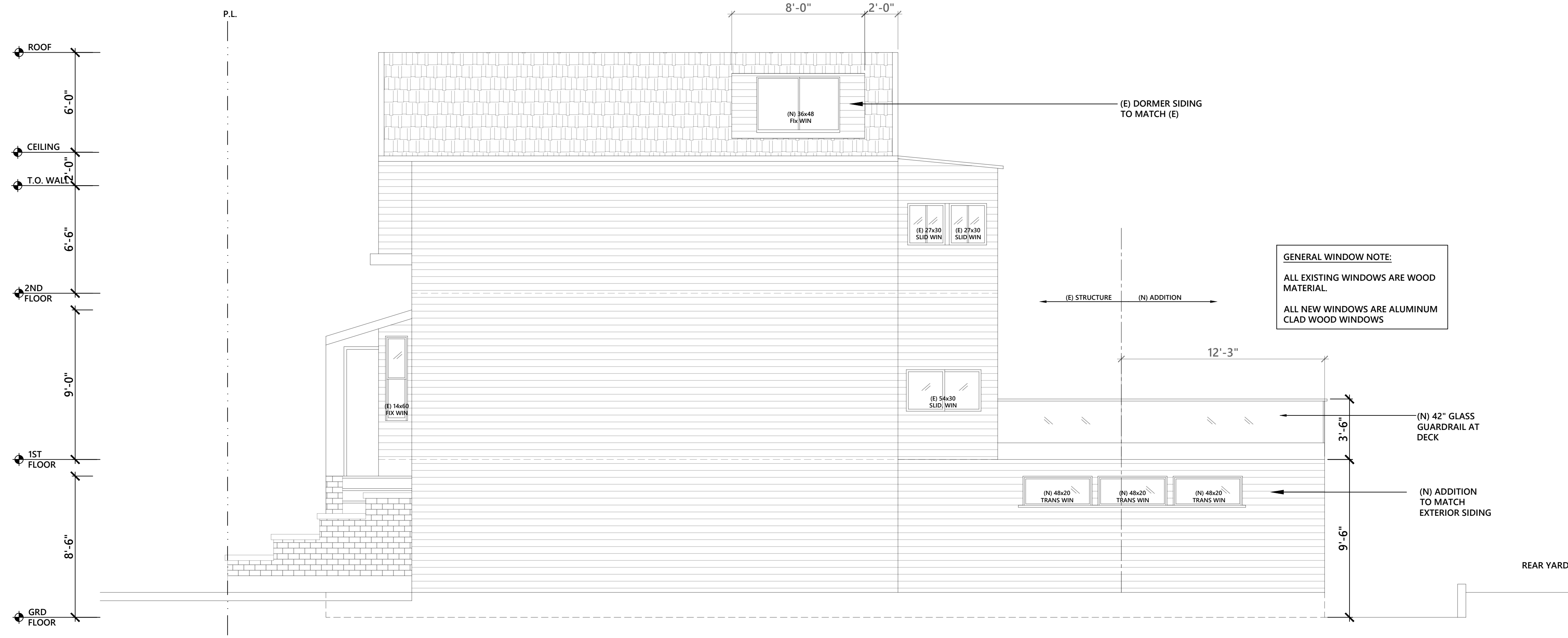
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**RESIDENTIAL REMODEL
 & HORIZONTAL ADDITION
 1370 25TH AVENUE (BLOCK/LOT: 1779/024)
 SAN FRANCISCO, CALIFORNIA 94122**



GENERAL WINDOW NOTE:
 ALL EXISTING WINDOWS ARE WOOD MATERIAL.
 ALL NEW WINDOWS ARE ALUMINUM CLAD WOOD WINDOWS

1 EXISTING / DEMO SIDE (SOUTH) ELEVATION
 SCALE: 1/4"=1'-0"



GENERAL WINDOW NOTE:
 ALL EXISTING WINDOWS ARE WOOD MATERIAL.
 ALL NEW WINDOWS ARE ALUMINUM CLAD WOOD WINDOWS

1 PROPOSED SIDE (SOUTH) ELEVATION
 SCALE: 1/4"=1'-0"

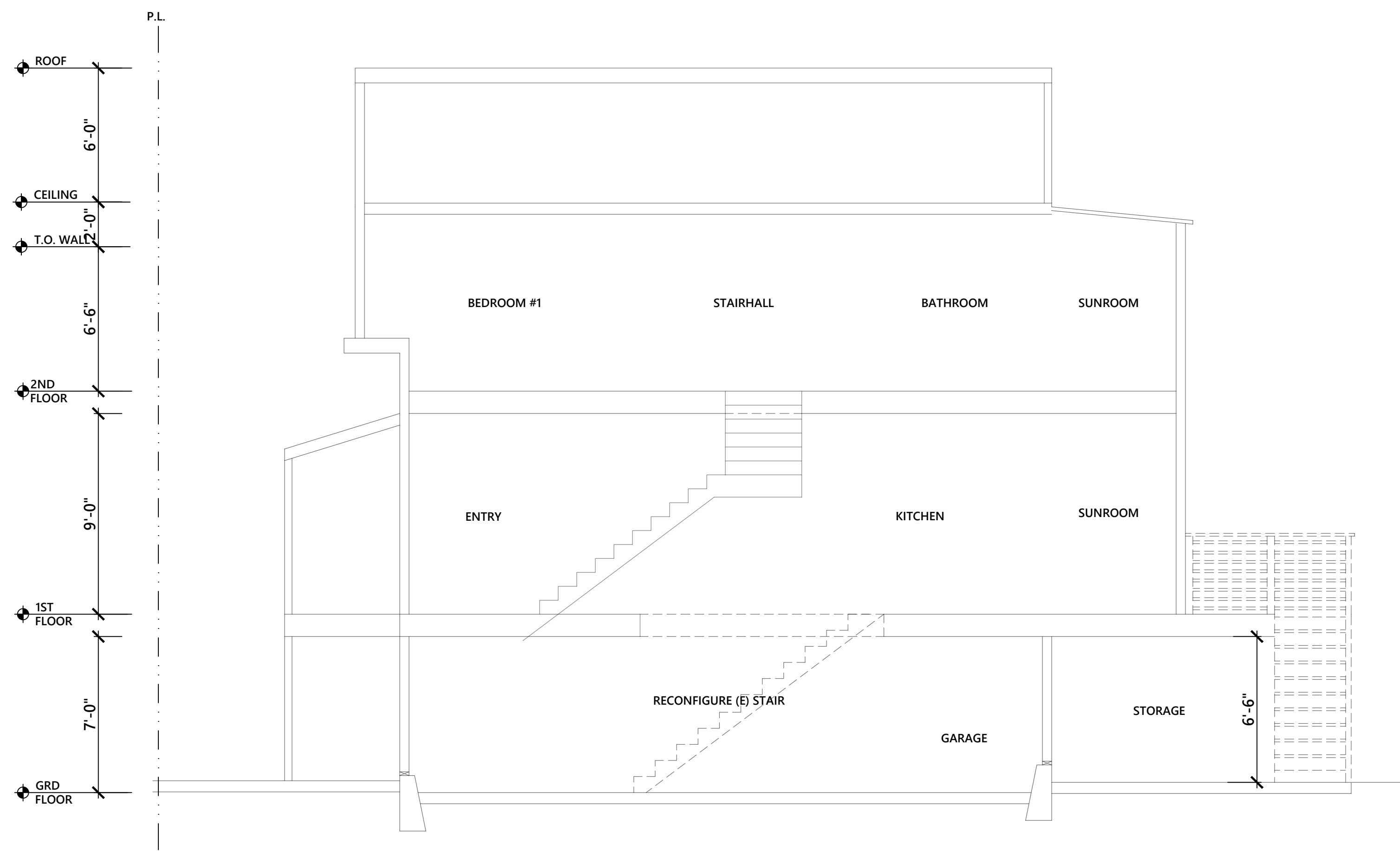
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DRAWN BY: A.S.
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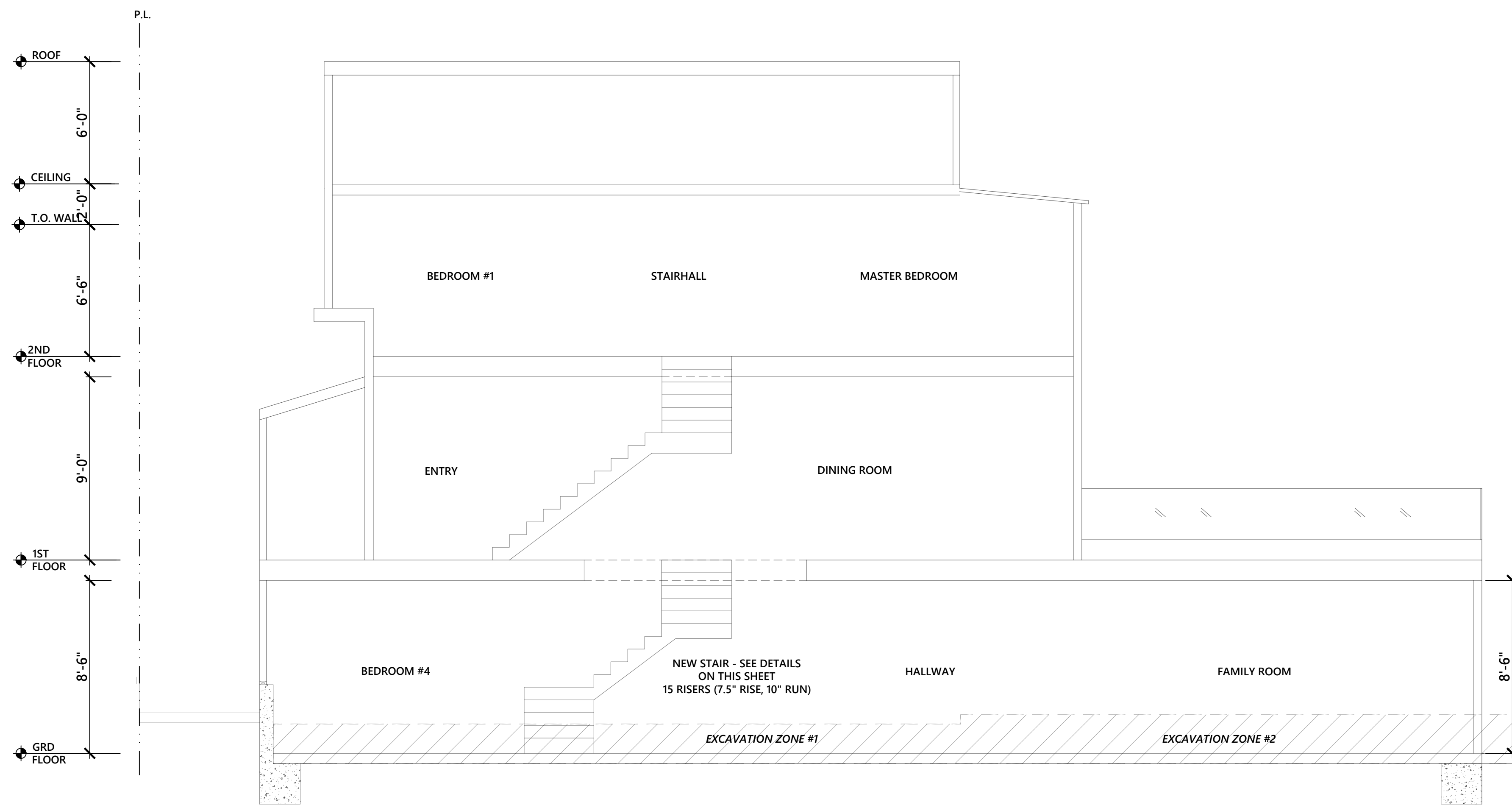
EXISTING/DEMO & PROPOSED
 SIDE (SOUTH) ELEVATION

SHEET NUMBER
A2.3

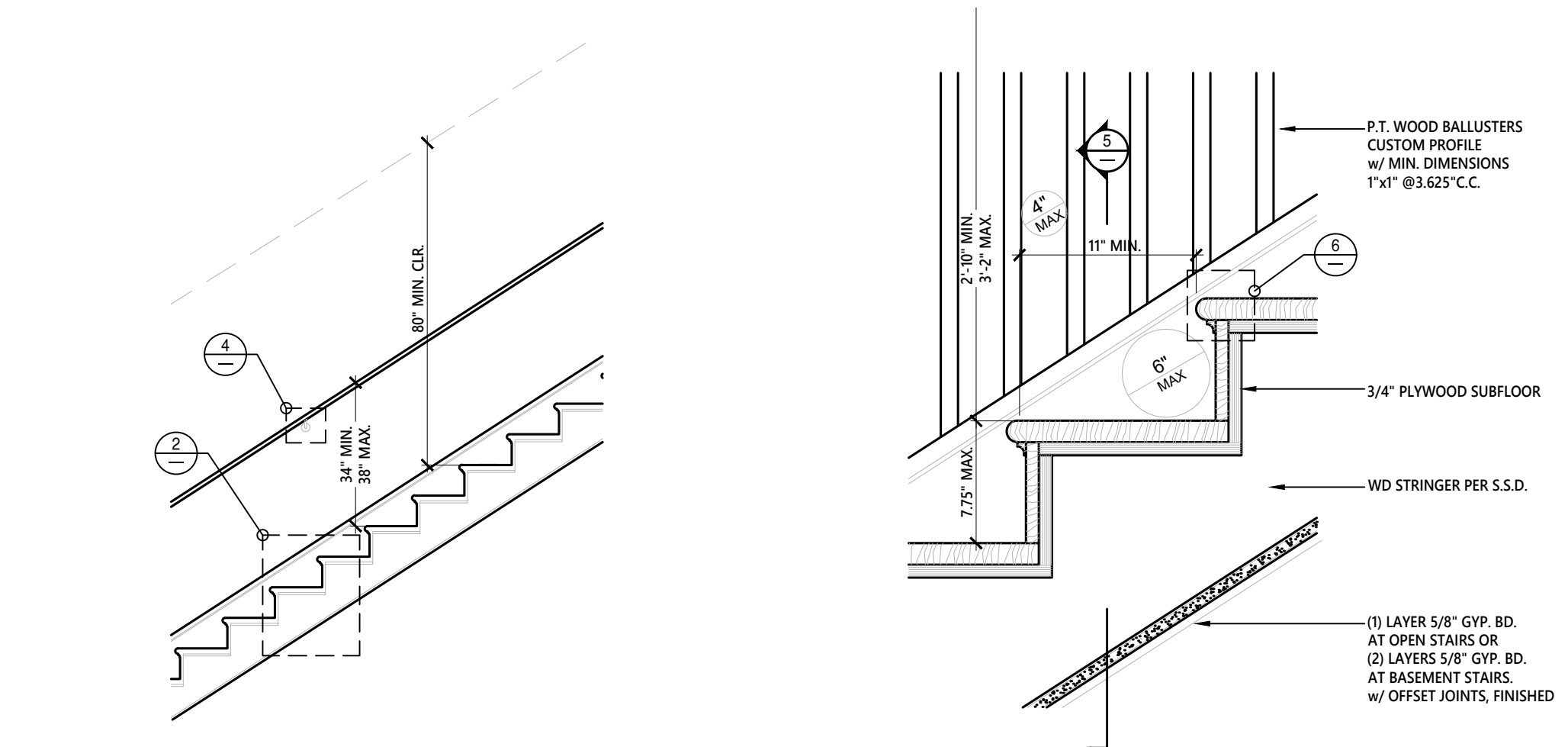
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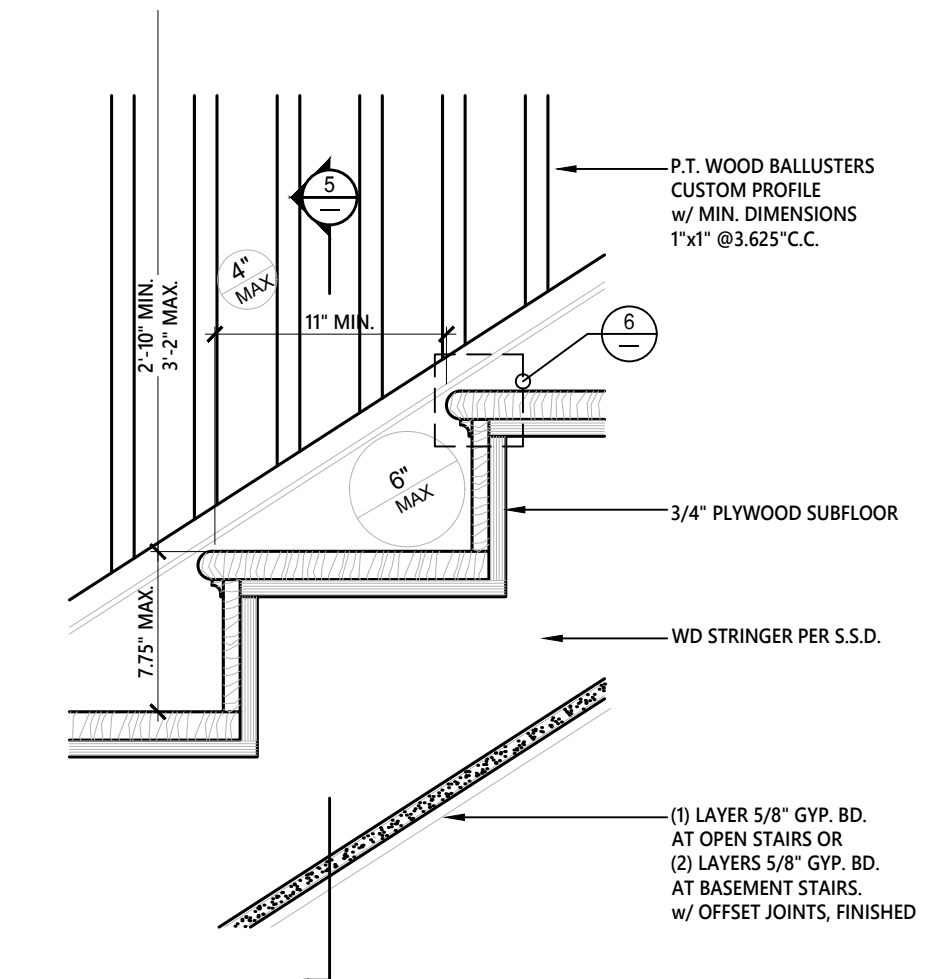
1 EXISTING / DEMO SECTION ELEVATION (NORTH - SOUTH DIRECTION)
 SCALE: 1/4" = 1'-0"



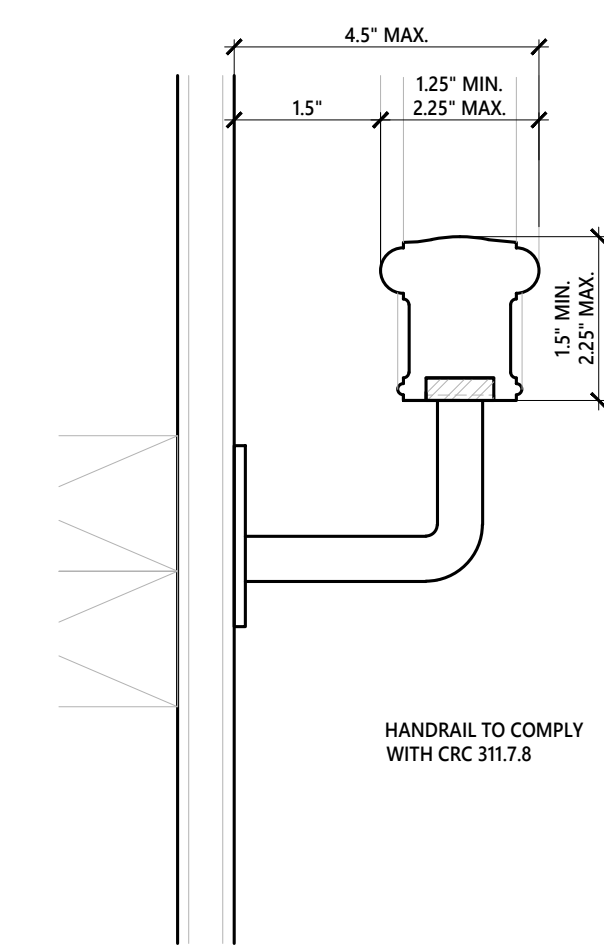
1 PROPOSED SECTION ELEVATION (NORTH - SOUTH DIRECTION)
 SCALE: 1/4" = 1'-0"



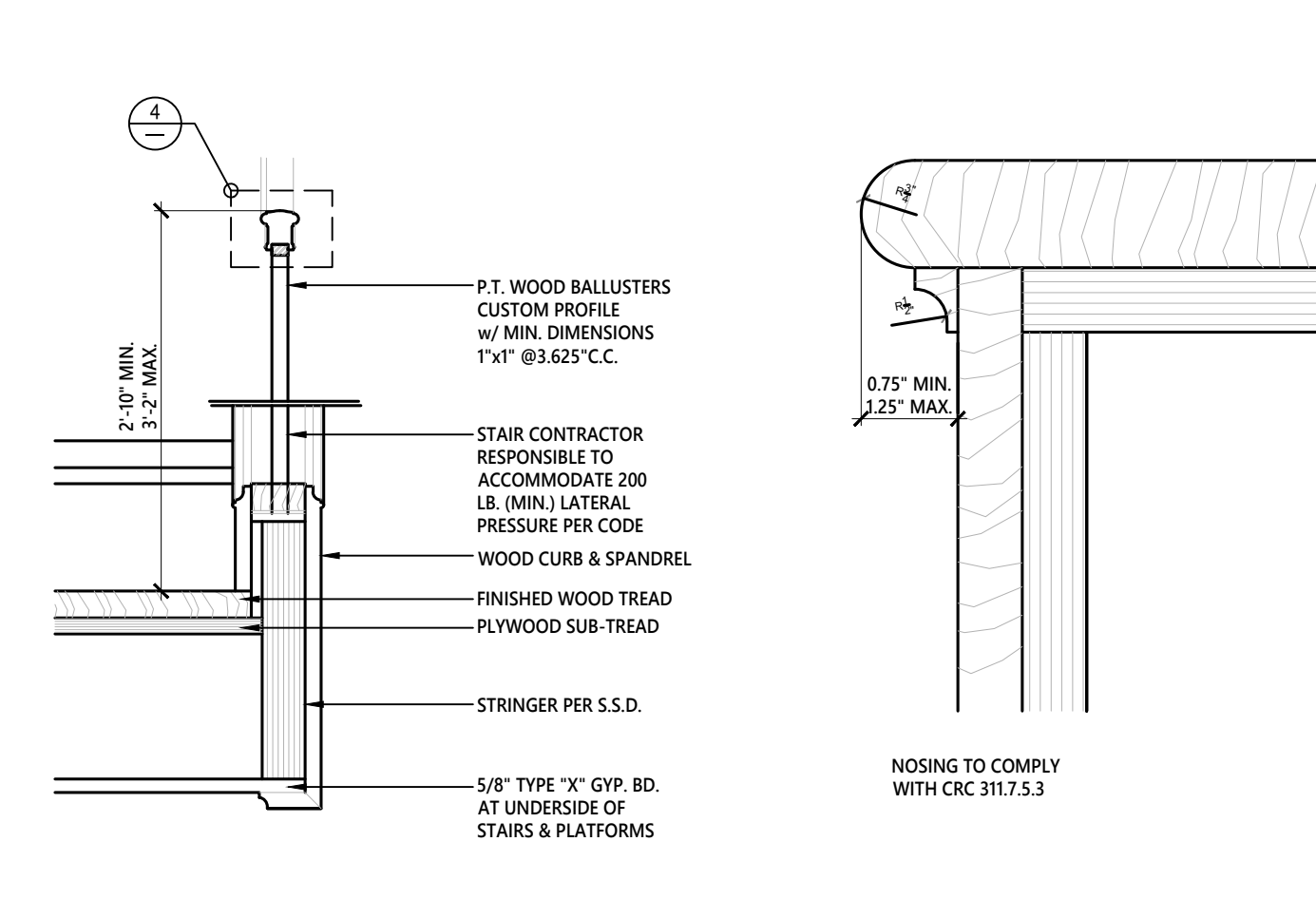
1 TYPICAL INTERIOR STAIR SECTION
 SCALE: 3/4" = 1'-0"



2 TYPICAL INTERIOR STAIR DETAIL
 SCALE: 3/4" = 1'-0"



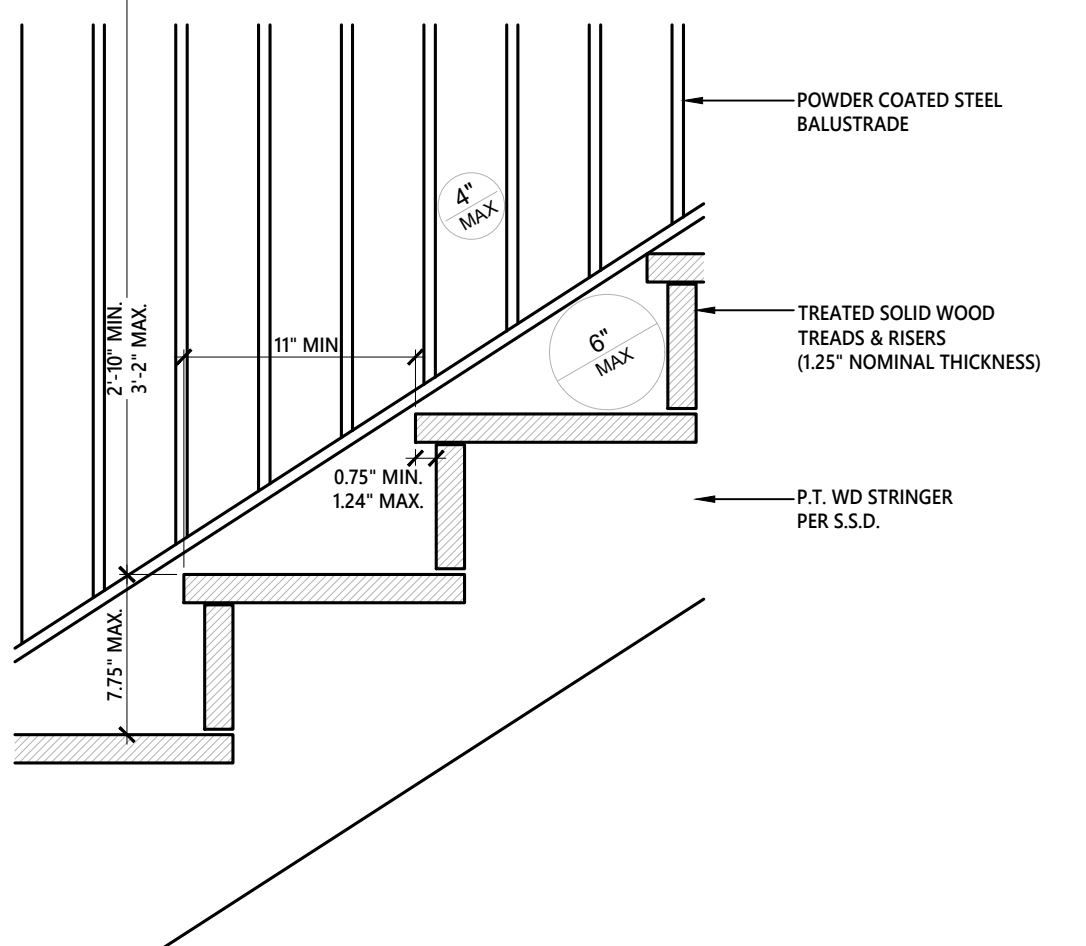
4 TYPICAL STAIR HANDRAIL DETAIL
 SCALE: 3/4" = 1'-0"



5 TYPICAL STRINGER SECTION DETAIL
 SCALE: 3/4" = 1'-0"



6 TYPICAL NOSING STAIR DETAIL
 SCALE: 3/4" = 1'-0"



3 TYPICAL EXTERIOR STAIR DETAIL
 SCALE: 3/4" = 1'-0"

- STAIR NOTES:**
- EGRESS STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE PERMITTED HANDRAIL HEIGHT AND BELOW REQUIRED HEADROOM HEIGHT.
 - HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE. ENSURE ALL WIDTH COMPLIES WITH CRC R311.7.1.
 - ENSURE MIN. 6' 8" HEADROOM IS PROVIDED THROUGHOUT STAIR AREA. MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING - CRC R311.7.2.
 - VERTICAL RISE OF A FLIGHT OF STAIRS SHALL BE MAX. 147".
 - CRC R311.7.3 STAIR TREADS AND RISERS SHALL COMPLY WITH CRC R311.7.5. VERIFY ANY AND ALL DEVIATIONS WITH ARCHITECT.
 - NOSING SHALL COMPLY WITH CRC R311.7.5.3. NOSING PROJECTION SHALL BE MIN. 0.75" MIN. 1.25" MAX.
 - THE MINIMUM NOSING PROJECTION IS NOT REQUIRED WHERE TREAD DEPTH IS NO LESS THAN 11".
 - LANDINGS SHALL COMPLY WITH CRC R311.7.6 AND SHALL HAVE A MINIMUM WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL NO LESS THAN THE WIDTH OF THE FLIGHT SERVED.
 - PER CRC R311.7.8 HANDRAILS SHALL BE PROVIDED ON NO LESS THAN ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR A FLIGHT WITH FOUR OR MORE RISERS. HANDRAILS SHALL BE INSTALLED MIN. 34" AN MAX. 38" MEASURED VERTICALLY FROM THE SLOPED PLAN ADJOINING TREAD NOSING.
 - HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE LOWEST RISER.
 - HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE LOWEST RISER.
 - HANDRAILS ADJACENT TO A WALL SHALL HAVE A MIN. CLEAR OFFSET OF 1.5" FROM THE WALL. SEE CRC R311.7.8.2 FOR CONTINUITY EXCEPTIONS.
 - HANDRAIL GRIP SIZE SHALL COMPLY WITH CRC R311.7.8.3 STAIRWAYS SHALL BE ILLUMINATED IN ACCORDANCE WITH R303.7.

VOLUME OF EXCAVATION

TOTAL VOLUME OF EXCAVATION (SHOWN HATCHED)

= SQUARE FOOTAGE OF EXCAVATION x DEPTH OF EXCAVATION / 27

= 758 SQ. FT. x 1'-6" / 27 (LOWERED SLAB - ZONE 1)

+ 611 SQ. FT. x 2'-0" / 27 (LOWERED SLAB - ZONE 1)

= 87.37 CUBIC YARDS

TOTAL EXCAVATION = 87.4 CUBIC YARDS

#	DATE	ISSUES & REVISIONS	BY
0	01/10/20	PERMIT SUBMISSION	AS

DRAWN BY: A.S.
 SHEET TITLE:

EXISTING/DEMO & PROPOSED SECTION ELEVATION

SHEET NUMBER
A2.4